

STATE OF CONNECTICUT  
OFFICE OF POLICY AND MANAGEMENT

RECEIVED  
JAN 08 2013  
FIRST SELECTMAN'S OFFICE

The Honorable Michael Tetreau  
First Selectman  
Town of Fairfield  
725 Old Post Road  
Fairfield, CT 06824

January 7, 2012

Dear First Selectman Tetreau:

Governor Dannel P. Malloy and I would like to congratulate you and the Town of Fairfield on your \$275,000 grant through the Small Town Economic Assistance Program (STEAP) to increase handicap accessibility at South Benson Marina, Southport Beach, Ye Old Yacht Yard and Sasco Beach.

Due to the nature of this project, the Department of Energy and Environmental Protection (DEEP) will administer your award. **Please note: retroactive reimbursements are not allowed.**

**You should not proceed with any anticipated STEAP-funded project work until you are fully aware of any contractual terms required by the administering agency and all necessary contracts are fully executed.**

**Please confirm your award with OPM within 60 days of the date printed above.** Once you have confirmed your acceptance of the award, OPM will coordinate with DEEP and your town's point of contact to get the process underway. To confirm your award, please contact OPM's Chief Administrative Officer MaryAnn Palmarozza at 860 418-6360 or at [maryann.palmarozza@ct.gov](mailto:maryann.palmarozza@ct.gov).

Please keep in mind that the ultimate release of funding will be contingent on your compliance with the rules and regulations of the agency that administers your award and release of funds will not occur without a fully executed project agreement between the municipality and the state administering agency.

Governor Malloy and I look forward to working with you to continue to improve the well being of Connecticut's communities in the future.

Sincerely,

Benjamin Barnes  
Secretary

cc: State Senator John McKinney  
State Representative Kim Fawcett  
State Representative Brenda Kupchick  
State Representative Tony Hwang

State of Connecticut  
Office of Policy and Management  
STEAP Project Application, Analysis & Eligibility  
*Pursuant to Connecticut General Statutes Section 4-66g*

Please complete one application for each project and also indicate the priority order of all projects submitted. Please submit two copies of the complete application package. Applications should be typed and are available at [www.ct.gov/opm](http://www.ct.gov/opm). Please contact Meagan Cowell ([Meagan.Cowell@ct.gov](mailto:Meagan.Cowell@ct.gov) or 860-418-6381) or Steven Kitowicz ([Steven.Kitowicz@ct.gov](mailto:Steven.Kitowicz@ct.gov) or 860-418-6409) with questions. When necessary, attach response in separate document.

Applicant Town Town of Fairfield  
Town Address 725 Old Post Rd, Fairfield, CT 06824  
Project Address Refer to attachment A

If no project address is available, please provide street intersection detail.

Requested FY 2013 STEAP Funding \$275,000

Identify town officials and professionals that may be contacted with questions regarding this application.

Edward Boman, Ass't Director DPW, [eboman@town.fairfield.ct.us](mailto:eboman@town.fairfield.ct.us) (203) 256-3010  
Print Name, Title, Email Address and Phone Number

Kathleen Griffin, Administrative Asst., [kgriffin@town.fairfield.ct.us](mailto:kgriffin@town.fairfield.ct.us) (203) 256-3030  
Print Name, Title, Email Address and Phone Number

Print Name, Title, Email Address and Phone Number

Provide a description of the project which includes the purpose of the project. Please be clear as to whether the funds you are requesting are for design, planning, site acquisition or construction. **Please be as comprehensive as possible in the description of this project.** (If necessary, attach response in a separate document.) \*Note: only capital projects will be considered.

Refer to attachment B

How will the completion of this project impact and benefit the community? Please include any projected economic impact and job creation or retention estimates. *(If necessary, attach response in a separate document.)*

Refer to attachment C

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Please indicate the approximate number of jobs this project will create or sustain.

The construction work is estimated at 1,700 man hours. Currently we expend 9,500 man hours/year to maintain and operate the facilities.

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What, if any, planning or design work has begun or been completed on this project?

Preliminary designs and cost estimates have been prepared and we will complete detailed drawings and specifications by September 30, 2012.

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Is the proposed project consistent with the State Conservation and Development Policies Plan? (Plan detail is available at: [www.ct.gov/opm/cdplan](http://www.ct.gov/opm/cdplan).)

Yes

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Will the project require the conversion of lands currently in agricultural use to non-agricultural use? Does the project area contain prime or important agricultural soils that are greater than 25 acres in area?

No - not applicable

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Describe the environmental and social impacts of the proposed project. For example, impacts related to traffic, floodplains, natural resources/wetlands, endangered species, archeological resources, historical structures, neighborhoods, utilities, etc. *(If necessary, attach response in a separate document.)*

Refer to attachment D

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Is this project a phase of a larger plan? If yes, please attach additional information regarding the overarching, long-term plan.

Refer to attachment E

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Of the funding sources listed above, have all funds been secured to date? If all project funds have not been raised or secured, what is the anticipated source and timeline for remaining funds? If applicable, note any plans to apply for future STEAP funds for this project.

Yes

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Please detail, what funds, if any, have been expended to date for this project?

"In house" engineering work to develop preliminary plans and cost estimates

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Will this project move forward if the requested STEAP funds are not awarded or are awarded in part? Please explain.

We will move forward with any components of the projects that are funded with STEAP funds.

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**Attach the following material:**

1. Site location map *Attachment A*
2. Real estate appraisals (if land acquisition is proposed) *N.A.*
3. Proposed project schedule *Attachment F*
4. Project cost estimates supporting the request for funding (if available) *Attachment G*
5. List of necessary local, state, and federal permits and approvals required for the project and the status of each *N.A.*
6. Environmental site assessments (if applicable) *N.A.*
7. Any town resolutions in support of the project *Not at this time.*

**Please forward the items requested above with your application for STEAP assistance to:**

Benjamin Barnes, Secretary  
Attention: Meagan Cowell  
Office of Policy and Management  
Budget and Financial Management Division  
450 Capitol Avenue  
Hartford, Connecticut 06106

**This page must be read and signed by the chief executive official of the municipality in order for the municipality/ project to be considered for STEAP funding.**

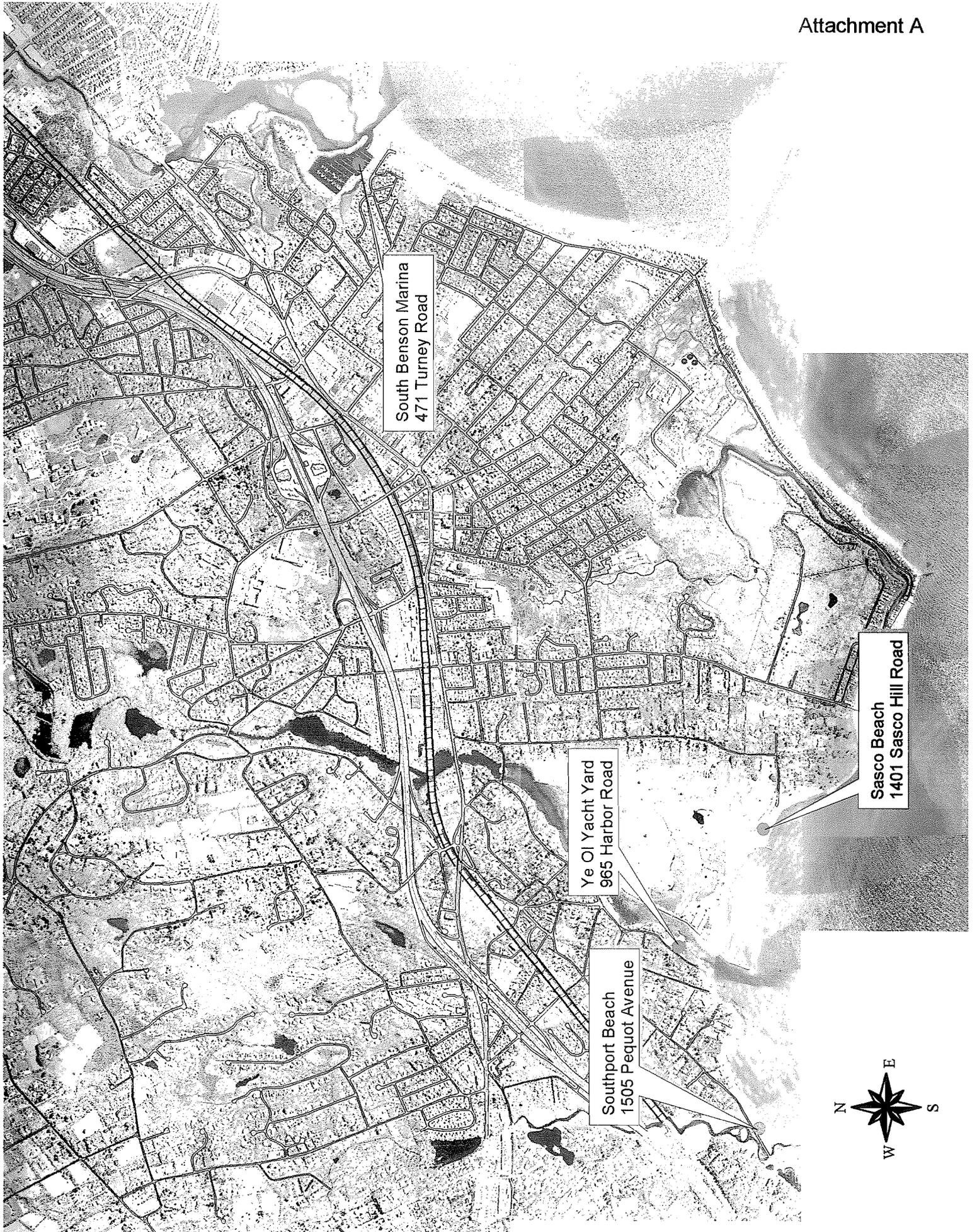
My signature below, as First Selectman, Mayor or Town Manager of the Town of Fairfield, indicates acceptance of the following and further certifies that:

1. I will comply with any grant terms and conditions required by the administering agency;
2. I understand that should this grant application be approved I will be required to sign an assistance agreement with the assigned administering agency delineating the terms and conditions of this grant;
3. I understand that various permits may be required by the administering agency as required by either the Connecticut General Statutes or Connecticut regulations;
4. I understand that funding associated with this grant application is one-time in nature and that there is no obligation for additional funding from the Office of Policy and Management or the State of Connecticut;
5. I understand that if this project warrants a Connecticut Environmental Policy Act (CEPA) review pursuant to Sections 22a-1 through 22a-1h of the Connecticut General Statutes that I will comply with such an environmental assessment. Further, if a CEPA is required, I understand that there are costs associated with such a review and that the municipality is in a position to continue with the proposed project despite this cost;
6. I understand that this application will be examined by the Intergovernmental Policy Division of the Office of Policy and Management for consistency with the State Plan of Conservation and Development and that I may be contacted if additional information is required for that review; and
7. I understand that projects which convert twenty-five or more acres of prime farmland to a nonagricultural use will be reviewed by the Commissioner of Agriculture, in accordance with Section 22-6 of the General Statutes.

  
Applicant's Signature

First Selectman  
Title

July 31, 2012  
Date

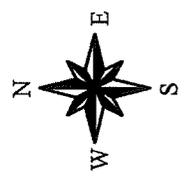


South Benson Marina  
471 Turney Road

Sasco Beach  
1401 Sasco Hill Road

Ye Ol Yacht Yard  
965 Harbor Road

Southport Beach  
1505 Pequot Avenue



## Attachment B

### Description and Purpose of Project

The purpose of the project is to increase the handicap accessibility at four (4) of Fairfield's popular coastal recreation areas. The funds are requested for construction of the following:

- South Benson Marina – Increase the accessibility of the access to and at the Fishing Pier. Increased access at the picnic area, concession stand and miscellaneous areas = \$75,000.
- Southport Beach – The existing restroom building is old and in very poor condition. We feel that our money would be better spent demolishing the existing building and replacing it with a pre-fab building that would be ADA compliant. Estimated cost = \$130,000.
- Ye Old Yacht Yard (YYY) – The project involves upgrading the existing restrooms to handicap accessibility and diverting the sanitation sewer line from the existing septic tank to the sanitary sewer in Harbor Road via a pump. Estimated cost = \$50,000.
- Sasco Beach – We recently upgraded the restrooms to ADA standards but because of the location of the restroom, handicap residents have to drive up to the facility. Because the restroom sits on a high spot in the lot, the plan was to construct a handicap ramp from the lot to the facility. Estimated cost = \$45,000.

Total Project Cost = \$300,000.

## Attachment C

### Project Impacts and Benefits

The project is specifically designed to increase the handicap accessibility at four of the Town's coastal recreational facilities. These efforts also increase the accessibility for the elderly and visitors with small children which make-up a significant proportion of the visitors. Residents who previously avoided these facilities because of accessibility issues will be able to enjoy the benefits of these very desirable coastal locations.

Three of the four locations have concession stands operated by private vendors. These improvements will increase the attendance and positively impact their businesses.

Since the projects involve construction and purchase of materials, there will be a positive economic impact. In addition, these improvements will increase the popularity of these sites and continue to justify the Town's expenditure of funds to maintain these facilities (lifeguards, summer students, full time maintenance employees, etc.).

Estimated construction man hours = 1,700 hours

Estimated job retention of existing employees = 9,500 hours/year

## Attachment D

### Environmental and Social Impacts

There are no negative environmental impacts. The projects involve improvements to existing facilities. There is a definite positive environmental impact for the project at Ye Old Yacht Yard in that we are disconnecting the restroom facilities from the existing septic tank and pumping the sewage to the recently installed Town sewer on Harbor Road. The sanitary sewer is a more reliable way to dispose of sewage for a facility located close to Southport Harbor.

The restroom facility at Ye Old Yacht Yard is in a Historical District. We have obtained conceptual approval from the Historic Commission for the project which mostly involves interior modifications. We anticipate formal approval of our application in September. The minor exterior work, mainly involving the relocation of doors, can be modified if necessary to comply with the Historic Commission's requirements.

We don't anticipate any negative social impacts other than an insignificant increase in traffic due to the increased attendance to these facilities by residents who previously could not enjoy their use because of accessibility issues. The major positive social impact is increased accessibility to these desirable coastal facilities for the handicapped and elderly. Simultaneously all visitors would benefit from the easier access especially adults with small children or carrying the items that go with visiting these sites (beach chairs, swimming gear, coolers, etc.).

## Attachment E

### Long Term Plan

This project is part of Fairfield's long-term plan to increase handicap access to all its recreational facilities. Recently we have been focused on our very desirable and popular waterfront facilities. For example:

- In 2011 we completed a two phase five million dollar project to rebuild the Pavilion at Penfield Beach which is our most popular saltwater beach. The project included complete handicap accessibility including a spacious porch and numerous ramps to the beach and parking lot.
- In the Spring of 2012, at our freshwater Lake Mohegan facility, we completed a project to make the restroom ADA compliant and construct a series of handicap walkways that connect all the key elements of this site (restrooms, concession stand, water park, and access all the way to the water's edge, etc.).
- We recently were awarded a \$100,000 STEAP grant to improve the handicap accessibility at Jennings Beach our second most popular saltwater beach. The project involves closer and additional handicap parking, upgrading the restrooms, installation of a ramp to the water's edge and other miscellaneous improvements.

In summary, we have a total of eight waterfront facilities. We have addressed three above and our current application involves four for a total of seven out of our eight facilities. The last remaining facility is our smallest beach and will be addressed in 2014.

Attachment F

Project Schedule			
Tasks	1 <sup>st</sup> Month	2 <sup>nd</sup> Month	4 to 6 Months
Award of STEAP Grant	.		
Final Preparation of Plans & Specs			
Bidding Process & Purchase of Materials			
Construction			
	←-----	6 to 8 Months	-----→

## Attachment G

### Preliminary Cost Estimate

- A. South Benson Marina – Increase accessibility of the walkway to the actual fishing pier. Modify the fishing pier. Also increase accessibility at the picnic area, concession stand and miscellaneous areas:

(a) Pavers for picnic area and walkways	=	\$30,000
(b) Pavement markings and signage	=	1,500
(c) New bollards for safety	=	15,500
(d) Wood handicap ramp	=	6,000
(e) Stabilization and plantings	=	6,000
(f) Modifications to railing system on pier	=	5,000
		\$64,000
Contingency @ 15%		11,000
TOTAL		<u>\$75,000</u>

- B. Southport Beach – Demolition of existing building and replacement with an ADA compliant concrete pre-fab building.

(a) Demolition and disposal	=	\$15,000
(b) Piles and foundation work	=	10,000
(c) Precast concrete building	=	80,000
(d) Connection to sewer	=	5,000
(e) Connecting sidewalk	=	5,000
Subtotal		115,000
Contingency @ 15%		15,000
TOTAL		<u>\$130,000</u>

- C. Ye Old Yacht Yard – Project includes upgrading the restrooms to ADA compliance and connection to sanitation sewer.

(a) Demolition and disposal of interior partitions	=	\$4,500
(b) Interior renovations	=	17,000
(c) Exterior modifications (doors, etc.)	=	7,000
(d) Site work	=	10,000
(e) Sewer Pump and connection	=	<u>5,000</u>
Subtotal		43,500
Contingency @ 15%		6,500
TOTAL		<u>\$50,000</u>

- D. Sasco Beach – Construction of a handicap ramp from parking lot to new ADA restrooms..

(a) Remove asphalt and site work	=	\$5,000
(b) Concrete ramp	=	9,000
(c) Railing system	=	20,000
(d) Rip rap	=	<u>5,000</u>
Subtotal		39,000
Contingency @ 15%		6,000
TOTAL		<u>\$45,000</u>

## Attachment G

### Preliminary Cost Estimate

- A. South Benson Marina – Increase accessibility of the walkway to the actual fishing pier. Modify the fishing pier. Also increase accessibility at the picnic area, concession stand and miscellaneous areas:

(a) Pavers for picnic area and walkways	=	\$30,000
(b) Pavement markings and signage	=	1,500
(c) New bollards for safety	=	15,500
(d) Wood handicap ramp	=	6,000
(e) Stabilization and plantings	=	6,000
(f) Modifications to railing system on pier	=	<u>5,000</u>
		\$64,000
Contingency @ 15%		<u>11,000</u>
TOTAL		<u>\$75,000</u>

- B. Southport Beach – Demolition of existing building and replacement with an ADA compliant concrete pre-fab building.

(a) Demolition and disposal	=	\$15,000
(b) Piles and foundation work	=	10,000
(c) Precast concrete building	=	80,000
(d) Connection to sewer	=	5,000
(e) Connecting sidewalk	=	<u>5,000</u>
Subtotal		115,000
Contingency @ 15%		15,000
TOTAL		<u>\$130,000</u>

Attachment G – Cont’d.

C. Ye Old Yacht Yard – Project includes upgrading the restrooms to ADA compliance and connection to sanitation sewer.

(a) Demolition and disposal of interior partitions	=	\$4,500
(b) Interior renovations	=	17,000
(c) Exterior modifications (doors, etc.)	=	7,000
(d) Site work	=	10,000
(e) Sewer Pump and connection	=	<u>5,000</u>
Subtotal		43,500
Contingency @ 15%		6,500
TOTAL		<u>\$50,000</u>

D. Sasco Beach – Construction of a handicap ramp from parking lot to new ADA restrooms..

(a) Remove asphalt and site work	=	\$5,000
(b) Concrete ramp	=	9,000
(c) Railing system	=	20,000
(d) Rip rap	=	<u>5,000</u>
Subtotal		39,000
Contingency @ 15%		6,000
TOTAL		<u>\$45,000</u>

PROPOSAL TO: Town of Fairfield, Purchasing Department  
 First Floor, Sullivan Independence Hall  
 725 Old Post Road, Fairfield, Connecticut 06824

I, \_\_\_\_\_ have received the following contract documents,

1. BID Document #2014-73,
2. Posted addenda (if any) numbered \_\_\_\_ thru \_\_\_\_, posted at [www.fairfieldct.org/purchasing.htm](http://www.fairfieldct.org/purchasing.htm)

and have included their provisions in my Proposal. I shall provide all labor, materials, equipment, technical service, insurances, warranties, applicable taxes and licenses, etc, to supply and deliver materials as specified:

**UNIT PRICES**

Unit price is an amount applicable during the duration of the contract as a price per unit of measurement for materials, equipment, or services, or a portion of the work, added to or deducted by appropriate modification, if the scope of work or estimated quantities of the work required by the contact documents are increased or decreased.

All unit prices must include labor, materials, equipment, mobilization, standard warranty, disposal, freight and delivery, insurances, applicable taxes, overhead and profit, and all other related items to complete the work.

Owner reserves the right to reject Contractor’s measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner’s expense, by an independent surveyor acceptable to both parties.

**Part A: South Benson Marina Walkway**

Item	Estimated Qty	Description	Unit Price	Extended Price
1	Lump Sum	Site Preparation & Demolition Removal (includes 1200 sq.ft. asphalt removal)	/ LS	
2	200 linear feet	Silt Fence	/ lf.	
3	68 Cubic Yards	Sub-base with geotextile wrap	/ cy.	
4	1770 Square Feet	Concrete Sidewalk (5.5 inch thickness)	/ sq.ft.	
5	Lump Sum	Final Preparation	/ LS	
			Base Bid Total	

**Add Alternates**

A-1	1680 Square Feet	Holland Granite City Pavers	/ sq.ft.	
A-2	160 Linear Feet	Belgin Block Border	/ lf.	
A-3	45 Cubic Yards	Concrete Slab (4" thickness)	/ cy.	
A-4	7 each	Anchor System per Structure	/ each	
A-5	46 tons	Revetment	/ ton	
A-6	10 each	8x8 Bollards	/ each	
A-7	600 Linear Feet	Nautical Rope (3" Natural)	/ lf.	
A-8	12 Each	Rogusa (5 gallon)	/ each	

**Part B: Southport Beach Sidewalk**

Item	Estimated Qty	Description	Unit Price	Extended Price
1	Lump Sum	Site Preparation & Demolition Removal (includes Concrete Pad)	/ LS	
2	400 linear feet	Silt Fence	/ lf.	
3	90 Cubic Yards	Sub-base with geotextile wrap	/ cy.	
4	2420 Square Feet	Concrete Sidewalk (5.5 inch thickness)	/ sq.ft.	
5	504 Square Feet	Concrete Apron	/ sq.ft.	
6	Lump Sum	Maintenance & Protection of Traffic	/ LS	
7	Lump Sum	Final Preparation	/ LS	
			Base Bid Total	

**Add Alternates**

A-1	200 Square Feet	1/2" - 1" thick class 12 Bituminous Concrete	/ sq.ft.	
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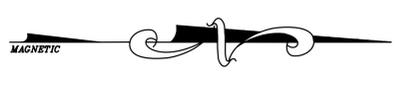
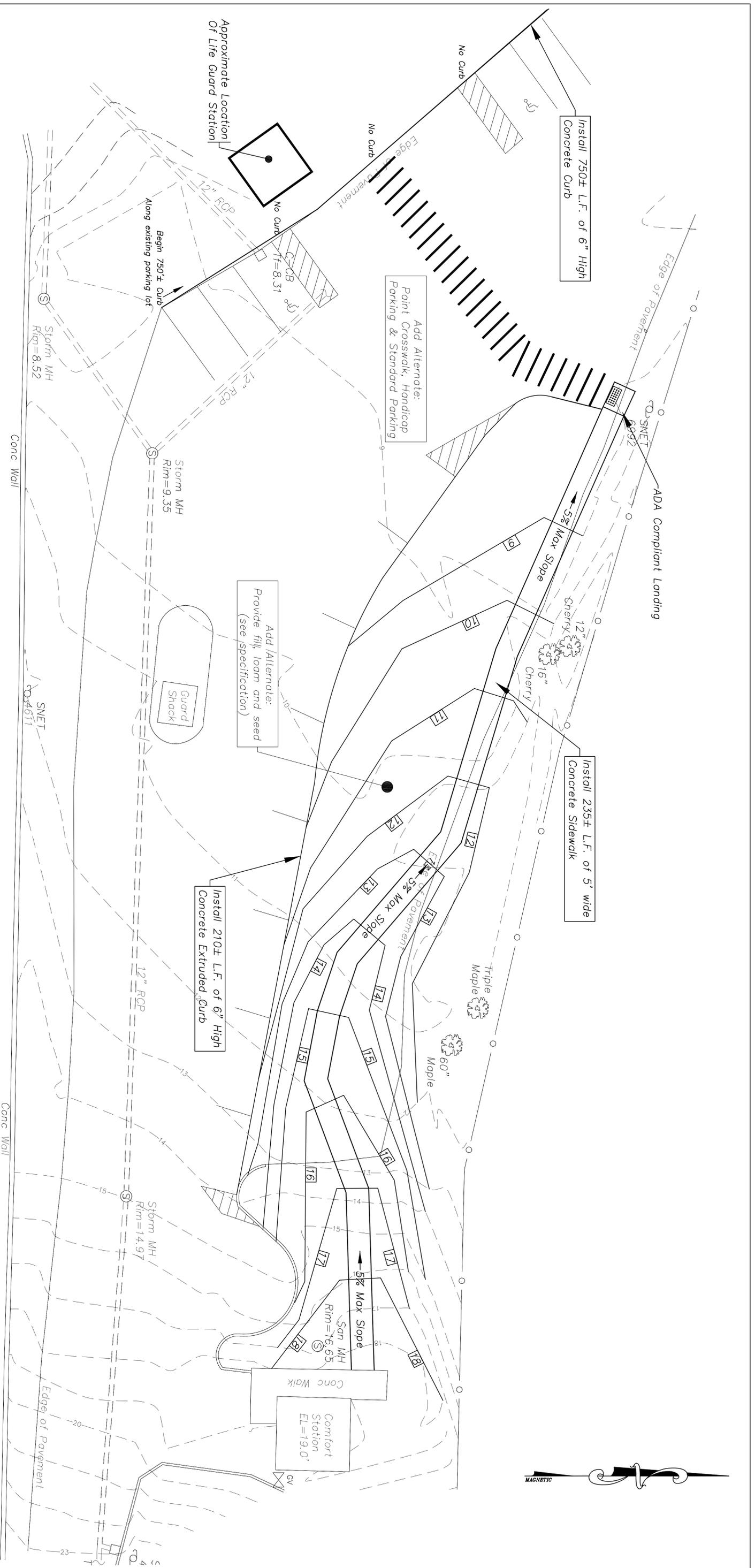
**Part C: Sasco Beach Ramp**

Item	Estimated Qty	Description	Unit Price	Extended Price
1	Lump Sum	Site Preparation & Demolition Removal	/ LS	
2	250 linear feet	Silt Fence	/ lf.	
3	19 Cubic Yards	Sub-base	/ cy.	
4	1175 Square Feet	Concrete Sidewalk (5 inch thickness)	/ sq.ft.	
5	1 each	Concrete Sidewalk ADA Landing	/ each	
6	210 Linear Feet	Extruded Concrete Curb	/ lf.	
7	750 Linear Feet	Concrete Curb (full depth)	/ lf.	
			Base Bid Total	

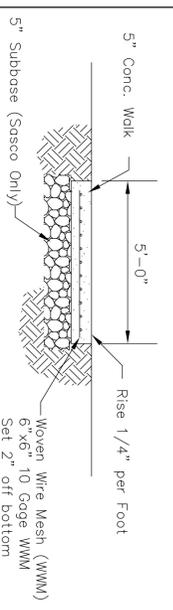
**Add Alternates**

A-1	750 Linear Feet	Extruded Concrete Curb (Substitution for full depth curb)	/ lf.	
A-2	410 Cubic Yards	Clean Fill	/ cy.	
A-3	530 Square Yards	Topsoil	/ sy.	
A-4	5 Pounds	Coastal Meadow Mix (approx. 5000 sq. ft.)	/ lb.	
A-5	72 Linear Feet	Blue Epoxy Pavement Markings	/ lf.	
A-6	2 each	Blue HC Epoxy Pavement Marking Symbol	/ each	

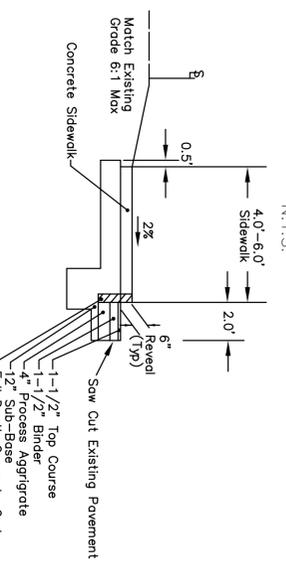
A-7	1000 Linear Feet	White Epoxy Pavement Markings (4" wide)	/ lf.	
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Concrete Sidewalk  
 Cross section  
 Without Roll  
 N.T.S.



Full Depth Concrete  
 Curb and Sidewalk  
 N.T.S.



- Notes**
- 1) Concrete required for sidewalk shall attain a strength of 5000 psi at 28 days and be air entrained 4-6%. Broom finish required for all concrete surfaces. Forms for concrete walks shall be 2"x4" wood, staked to prevent movement. Concrete to be sealed with "Consolideck Safguard WB" or approved equal.
  - 2) Contractor must start at uphill end first, and shall verify minimum slopes, grades, and layout in the field. Sidewalks must have a slope of 1:20 or less (<5%). All landings must be a minimum of 5x5'.
  - 3) Elevations and contours are based on NGVD 1929 Datum.
  - 4) Call before you dig 1-800-922-4455 prior to any excavation.

Town of Fairfield  
 Dept. of Public Works  
 S.T.E.A.P. Grant  
 Sasco Beach  
 Proposed Handicap Ramp

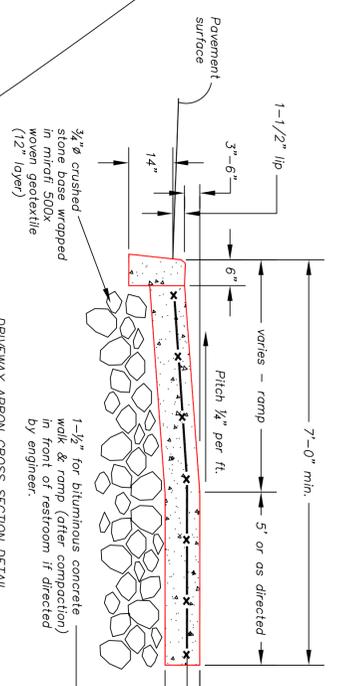
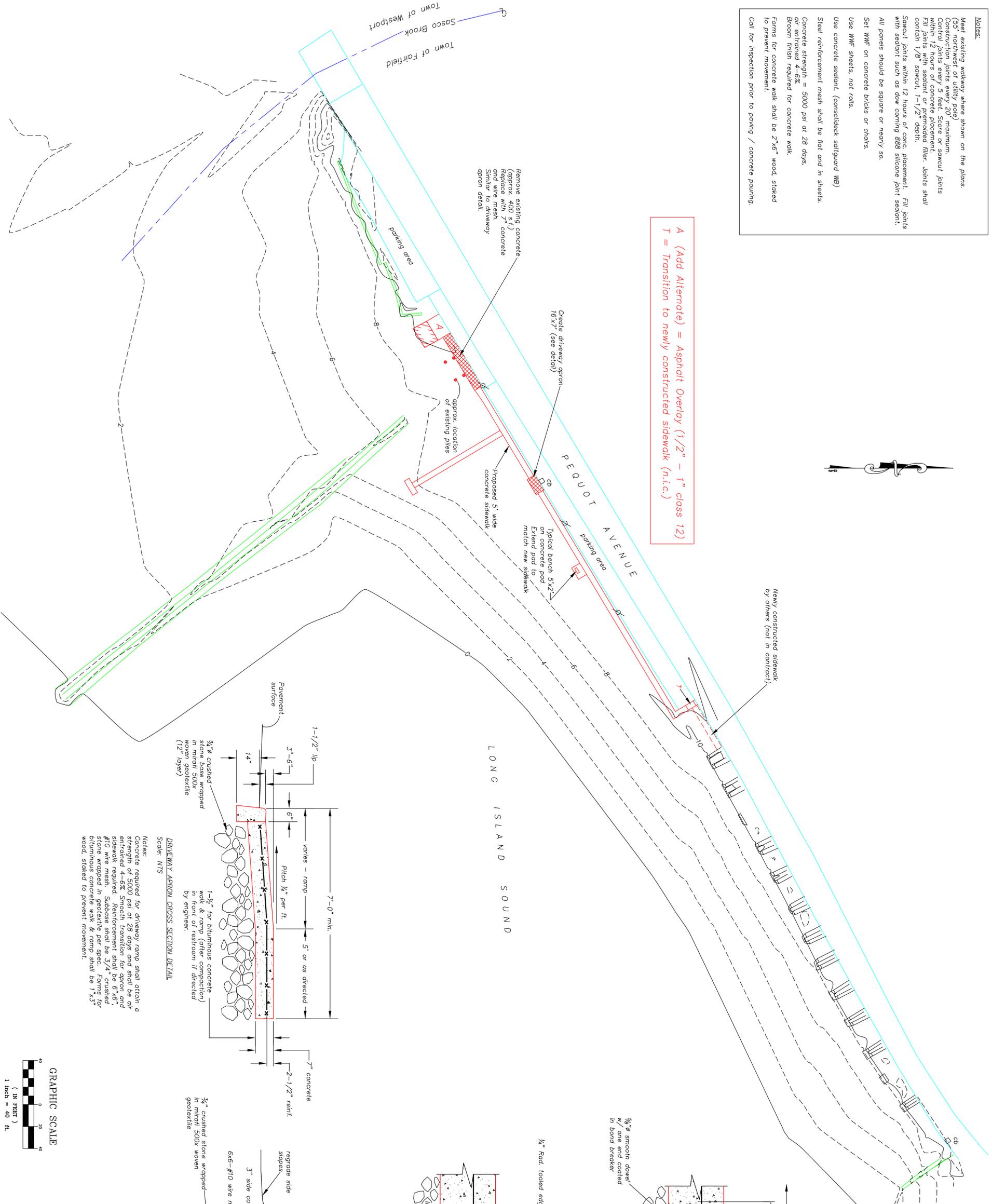
DRAWN BY: SL/MH  
 DATE: Feb. 2014  
 SCALE: 1"=10'

CHK'D BY: MH  
 FILE NO.: 3560  
 SHEET NO.: 1 of 1

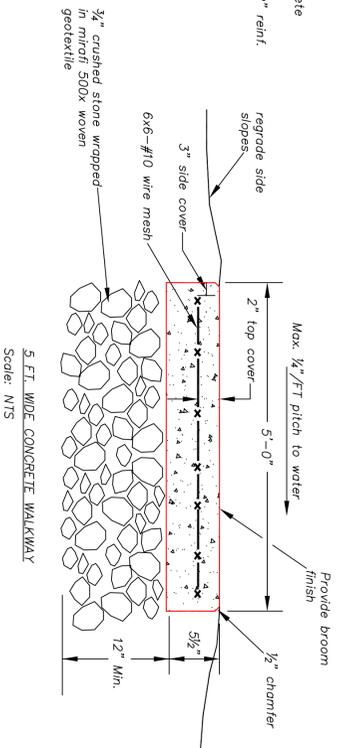
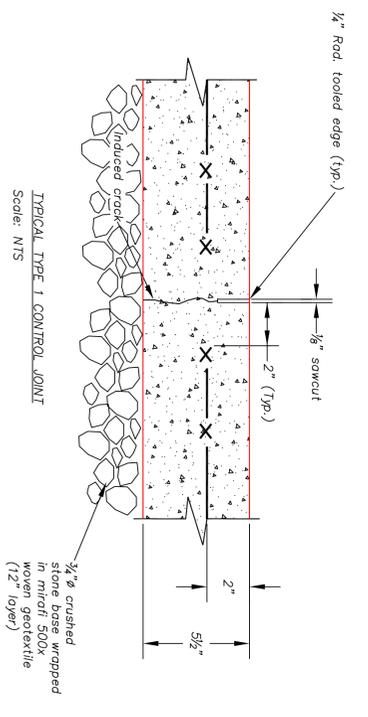
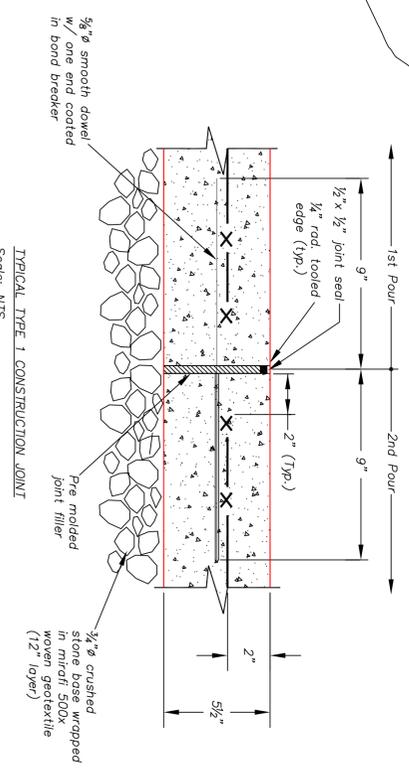


**Notes:**  
 Meet existing walkway where shown on the plans.  
 (55' northwest of utility pole)  
 Construction joints every 20' maximum.  
 Control joints every 3 feet. Score or sawcut joints  
 within 12 hours of concrete placement.  
 Finish with broom and geotextile. Joints shall  
 contain 1/8" sawcut, 1-1/2" depth.  
 Sawcut joints within 12 hours of conc. placement. Fill joints  
 with sealant such as dow coming 888 silicone joint sealant.  
 All panels should be square or nearly so.  
 Set WWF on concrete bricks or chairs.  
 Use WWF sheets, not rolls.  
 Use concrete sealant. (consoldeck saltguard MB)  
 Steel reinforcement mesh shall be flat and in sheets.  
 Concrete strength = 5000 psi at 28 days,  
 or entrained 4-6%  
 Broom finish required for concrete walk.  
 Forms for concrete walk shall be 2"x6" wood, staked  
 to prevent movement.  
 Call for inspection prior to paving / concrete pouring.

**A (Add Alternate) = Asphalt Overlay (1/2" - 1" class 12)**  
**T = Transition to newly constructed sidewalk (n.i.c.)**



**Notes:**  
 Materials required for driveway ramp shall attain a strength of 5000 psi at 28 days and shall be air entrained 4-6%. Smooth transition for apron and sidewalk required. Reinforcement shall be 6"x6" #10 wire mesh. Subbase shall be 3/4" crushed stone wrapped in geotextile per spec. Forms for bituminous concrete walk & ramp shall be 1"x3" wood, staked to prevent movement.



Town of Fairfield  
 Dept. of Public Works

Southport Beach Sidewalk  
 Pequot Avenue  
 Fairfield, CT

DRAWN BY: JLS  
 DATE: April 2, 2014  
 SCALE: 1"=40'

CHK'D BY: MW  
 FILE NO: 3334  
 MAP NO:

n/f  
 Sasunang Soc. for Village Imp.  
 c/o Barbara Slemom



ZONING CONFORMANCE PREDICATED ON A, B, C, and D.

- A. All new construction and substantial improvement shall:
  1. Be designed or modified and adequately anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy.
  2. Be constructed by material resistant to flood damage.
  3. Be constructed by methods and practices that minimize flood damage.
  4. Be constructed with electrical, ventilation and plumbing equipment and other service facilities that are designed and / or located so as to prevent water from entering or accumulating within the components during conditions of flooding.
- B. New and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system.
- C. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of flood waters into the systems and discharges from the system into flood waters.
- D. All new construction and substantial improvements shall have the lowest floor, including basement elevated to or above the base flood level and if constructed with a fully enclosed area below this lowest floor shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of flood waters.

1. **Street Address of subject site:** 985 Harbor Road, Southport, CT 06890
2. **Assessor's Map #** 241 Parcel # 20
3. **Zone District:** R-3
4. **Owner:** Town of Fairfield  
c/o Gerald A. Lombardo, Director  
Fairfield Parks & Recreation Department  
75 Mill Plain Road  
Fairfield, CT 06824  
(203) 256-3191
5. **Applicant:** Laura Pulie, P.E., Senior Civil Engineer  
Town of Fairfield  
725 Old Post Road  
Fairfield, CT 06824  
(203) 256-3015
6. **Description:** New restroom and storage building utilizing wet-floodproof design in a VE Zone, per Variance granted at 1-2-2014 ZBA Meeting.
7. **Original date of submission:** 3-17-2014

FLOOD ZONE = VE14 (EL. 14') PANEL #0418G - EFFECTIVE DATE: OCTOBER 30, 2011; MAP# 09001C0418G  
ELEVATIONS REFER TO NAVD 1988 DATUM  
TOWN OF FAIRFIELD ZBA APPROVAL - JANUARY 2, 2014  
TOWN OF FAIRFIELD HCD APPROVAL - OCTOBER 11, 2012  
TOWN OF FAIRFIELD HCD APPROVAL - JULY 11, 2013

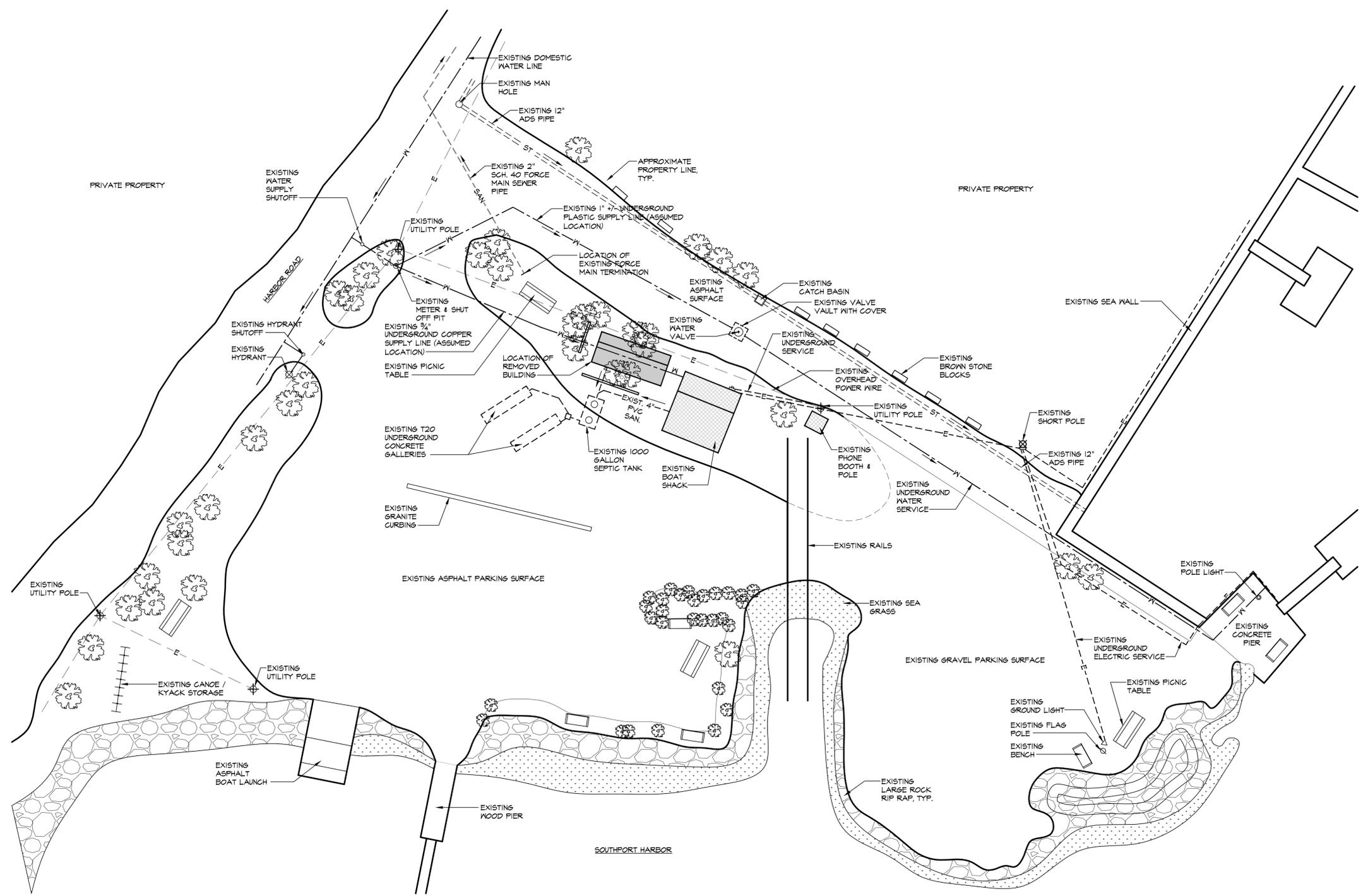
**Town of Fairfield**  
**Dept. of Public Works**

YE OLD YACHT YARD  
HANDICAP RESTROOM RE-BUILD  
985 HARBOR ROAD  
EXISTING SITE PLAN

**SP1**

DRAWN BY: JMG  
DATE: MARCH 17, 2014  
SCALE: 1/8" = 1'-0"

CHK'D BY:  
FILE NO: 3306  
MAP NO:



**1** EXISTING SITE PLAN  
SPI SCALE: 1/16" = 1'-0"

NOTE: THIS MAP WAS DRAWN FROM AN ARIEL PHOTO AND SCALED ACCORDINGLY. THIS MAP IS DIAGRAMMATIC IN NATURE AND MAY CONTAIN INACCURACIES AND IS FOR ORIENTATION PURPOSES ONLY. PROPERTY INFORMATION IS APPROXIMATE AND BASED ON TOWN OF FAIRFIELD ENGINEERING MAP NUMBERS 304 & 2514.

ZONING GRID	MAX. ALLOW	EXISTING CONDITIONS	PROPOSED
RESIDENCE DISTRICT R-3			
MINIMUM LOT AREA (ONE FAMILY DWELLING)	20,000 S.F.	34,413 S.F.	43,413 S.F.
MINIMUM SQUARE ON LOT	100 S.F.	100 S.F.	100 S.F.
MINIMUM LOT FRONTAGE	100 S.F.	100 S.F.	100 S.F.
SETBACKS			
Streetline	40'	0'	66'-8"
Side	15'	0'	34'-5 1/2"
Rear	30'	0'	30' +
MINIMUM FLOOR AREA			
1 Story Building	900 S.F.	281 S.F.*	208 S.F.
MAXIMUM HEIGHT IN FEET	40'	0'	10'-11 1/2"
MAXIMUM HEIGHT IN STORIES	3	1	1
MAXIMUM BUILDING LOT COVERAGE AS % OF LOT AREA	15%	.81%**	1.42%
MAXIMUM BUILDING FLOOR AREA AS % OF LOT AREA	30%	.81%**	1.42%

\* AREA OF EXISTING BOAT SHACK  
\*\* COVERAGE OF EXISTING BOAT SHACK

HARBOR ROAD

SAW-CUT EXISTING PAVEMENT, REMOVE AND DISPOSE OF PROPERLY

3'-0"

30'-0 1/2"

DISCONNECT REMOVE EXISTING 3/4" COPPER WATER SUPPLY PIPE FROM EXISTING WATER METER PIT, EXCAVATE AND REMOVE OUT OF GROUND

PROVIDE AND MAINTAIN 6' HIGH TEMPORARY CHAIN LINK CONSTRUCTION FENCE THROUGHOUT ENTIRE CONSTRUCTION

MOVE EXISTING TABLE TO A TEMPORARY LOCATION, RETURN TO LOCATION AFTER CONSTRUCTION

EXCAVATE FOR AND REMOVE EXISTING SANITARY DRAIN PIPE TO EXISTING SEPTIC TANK

REMOVE EXISTING WOOD BOLLARDS & GAP WOOD

REMOVE EXISTING TREES & ROOTS

CUT EXISTING PVC DRAIN

CUT EXISTING WATER SERVICE AT THIS POINT

OUTLINE OF PROPOSED BUILDING

CUT BACK AND REMOVE EXISTING PLASTIC PIPE ON BOTH SIDES OF EXISTING WATER VALVE

REMOVE EXISTING VALVE

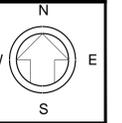
SAW-CUT EXISTING PAVEMENT, REMOVE AND DISPOSE OF PROPERLY

REMOVE EXISTING MAN HOLE COVER ASSEMBLY & EXISTING MASONRY VAULT

1 DEMOLITION SITE PLAN  
SP2 SCALE: 1/8"=1'-0"

Town of Fairfield  
Dept. of Public Works

YE OLD YACHT YARD  
HANDICAP RESTROOM RE-BUILD  
985 HARBOR ROAD  
DEMOLITION SITE PLAN

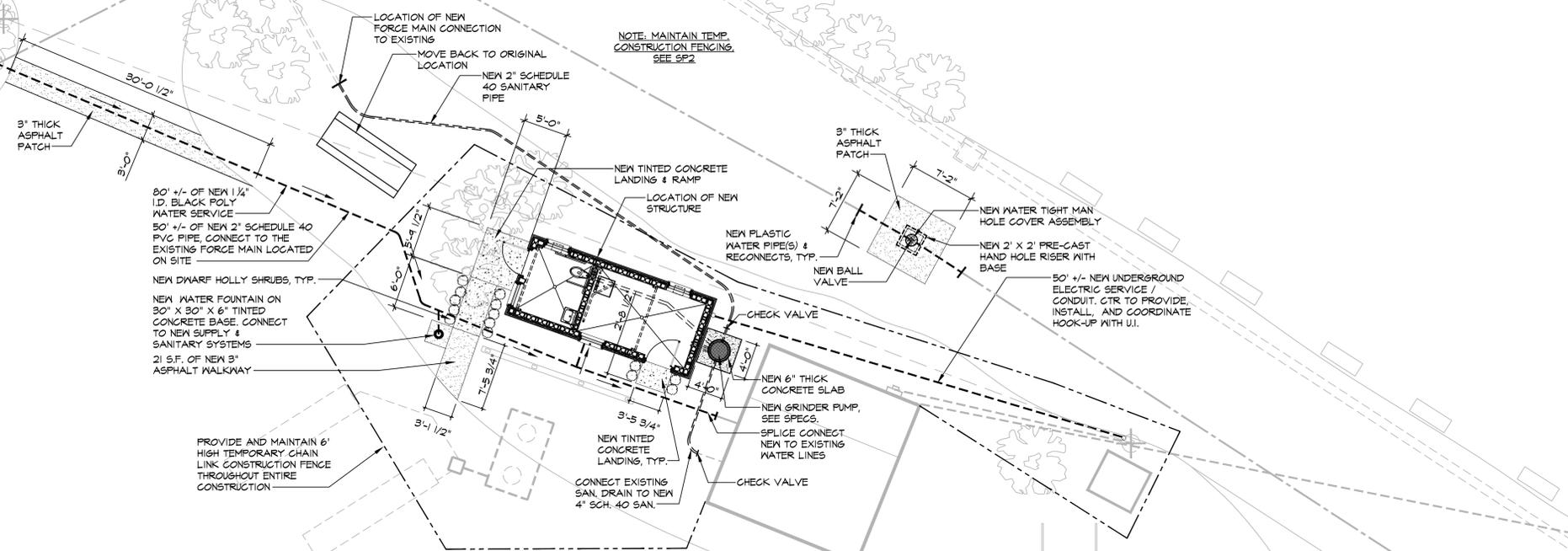


SP2

DRAWN BY: JMG  
DATE: MARCH 17, 2014  
SCALE: 1/8"=1'-0"

CHK'D BY:  
FILE NO: 3306  
MAP NO:

HARBOR ROAD



80' +/- OF NEW 1/4" I.D. BLACK POLY WATER SERVICE  
 50' +/- OF NEW 2" SCHEDULE 40 PVC PIPE, CONNECT TO THE EXISTING FORCE MAIN LOCATED ON SITE  
 NEW DWARF HOLLY SHRUBS, TYP.  
 NEW WATER FOUNTAIN ON 30" X 30" X 6" TINTED CONCRETE BASE, CONNECT TO NEW SUPPLY & SANITARY SYSTEMS  
 21 S.F. OF NEW 3" ASPHALT WALKWAY

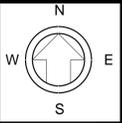
PROVIDE AND MAINTAIN 6' HIGH TEMPORARY CHAIN LINK CONSTRUCTION FENCE THROUGHOUT ENTIRE CONSTRUCTION

NOTE: MAINTAIN TEMP. CONSTRUCTION FENCING. SEE SP2

1 NEW SITE PLAN  
 SP3 SCALE: 1/8"=1'-0"

Town of Fairfield  
 Dept. of Public Works

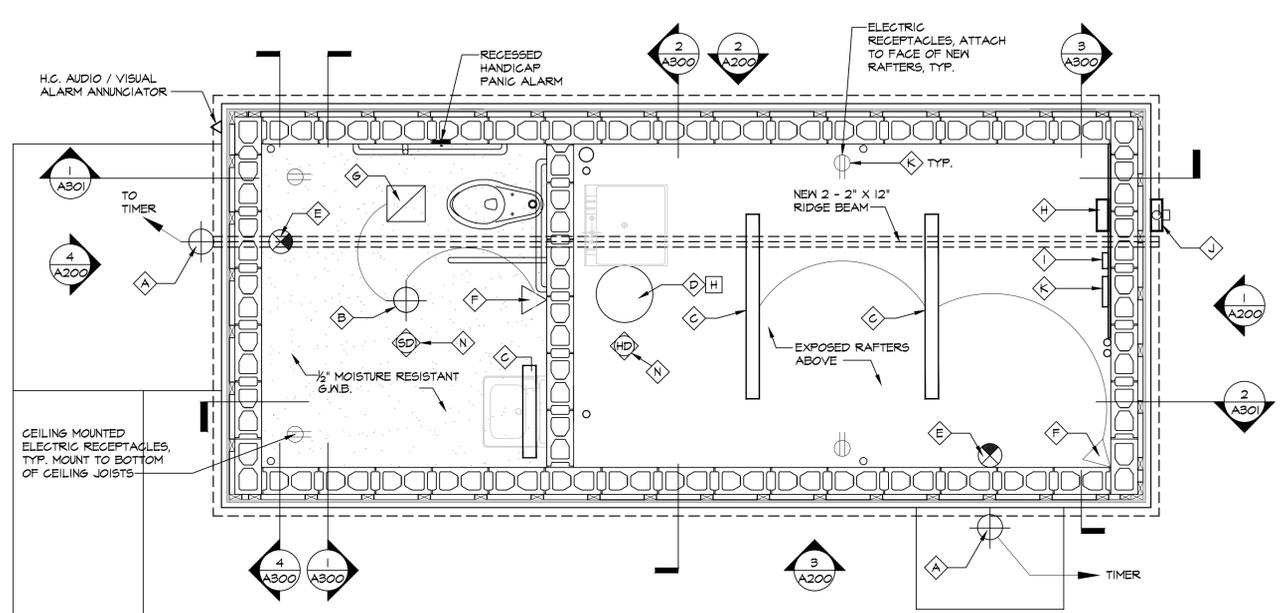
YE OLD YACHT YARD  
 HANDICAP RESTROOM RE-BUILD  
 985 HARBOR ROAD  
 NEW SITE PLAN



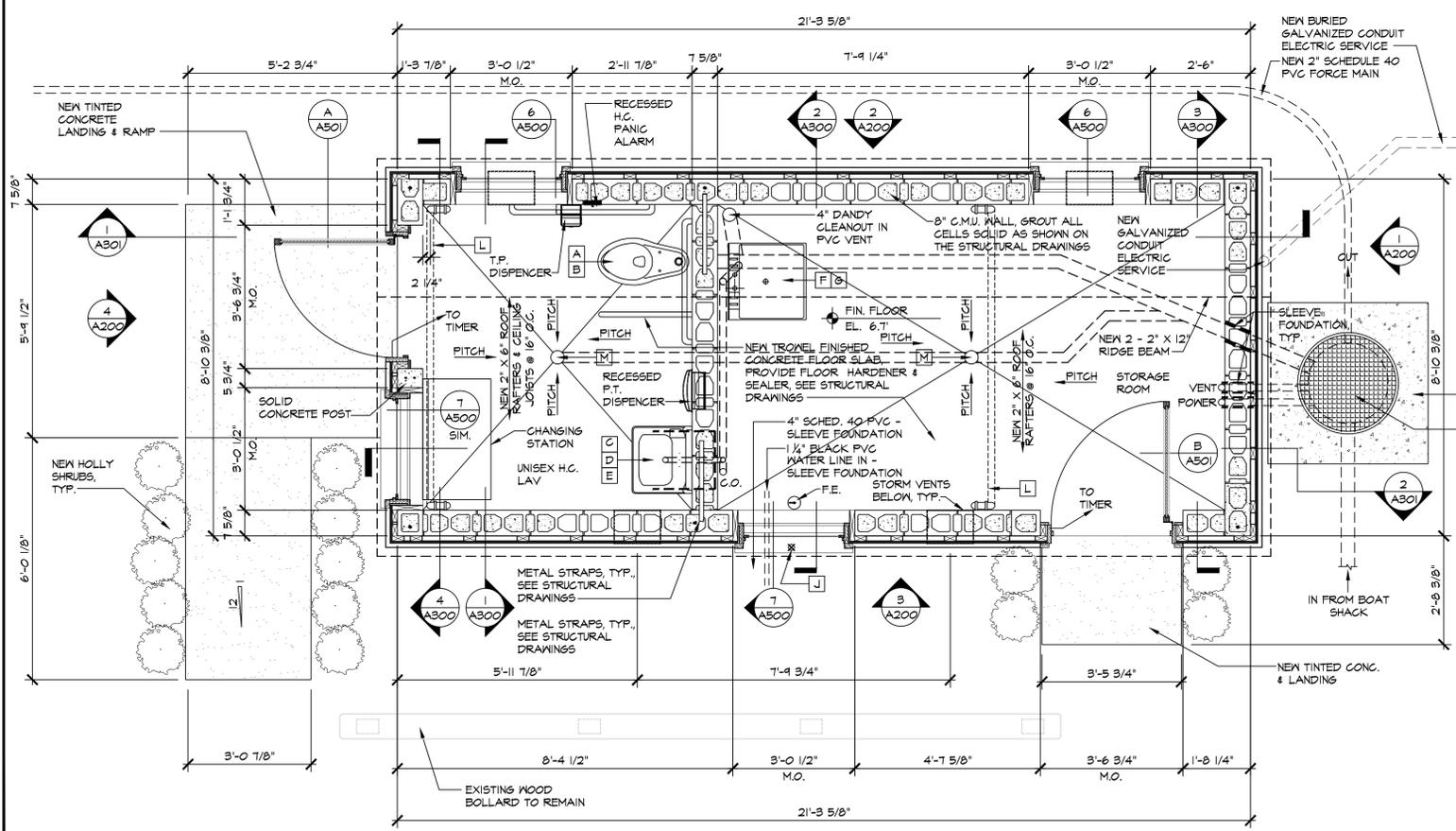
SP3

DRAWN BY: JMG  
 DATE: MARCH 17, 2014  
 SCALE: 1/8"=1'-0"

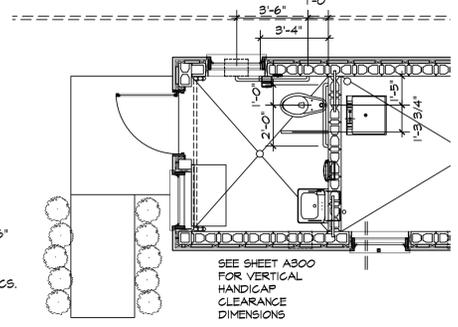
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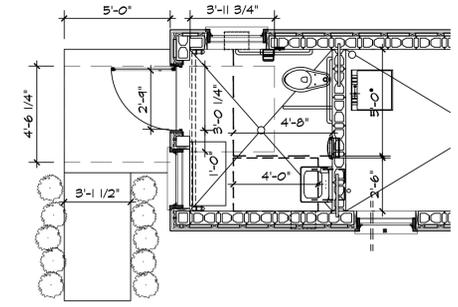
2 REFLECTED CEILING PLAN  
SCALE: 1/2"=1'-0"



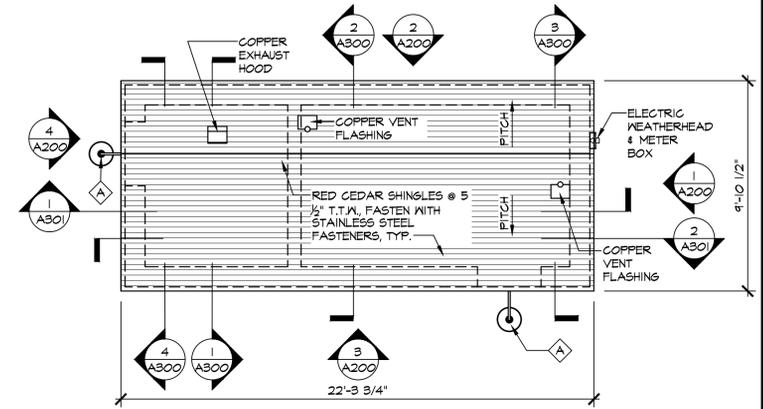
1 FLOOR PLAN  
SCALE: 1/2"=1'-0"



1 GRAB BAR LAYOUT PLAN  
SCALE: 1/4"=1'-0"



1 CLEAR FLOOR AREA PLAN  
SCALE: 1/4"=1'-0"



3 ROOF PLAN  
SCALE: 1/4"=1'-0"

PLUMBING SCHEDULE		
TAG	MANUFACTURER AND MODEL	NOTES
A	AMERICAN STANDARD - MADERA 1.6 GPF ADA FLOOR MOUNTED, FLUSH VALVE	PROVIDE OPEN FRONT ADA SEAT
B	SLOAN VALVE - ROYAL MODEL FLUSHMETER 110/111	COORDINATE WITH INSTALLATION OF REAR GRAB BAR
C	AMERICAN STANDARD LUCERNE - 0856.015, WHITE, 1 1/2" TRAP	PROVIDE PIPE COVERS AT EXPOSED PIPING UNDER SINK
D	MOEN CHATEAU # 4945 - CHROME	
E	ZURN Z-1251-SL	
F	SWAN MF-IF / MOEN #1441B	PROVIDE TRAP
H	A.O. SMITH PRO-MAX COMPACT 10-GALLON ELECTRIC WATER HEATER	SUSPEND FROM ROOF RAFTERS, PLUMB AS REQUIRED FOR PROPER OPERATION
I	ZURN WILKINS MODEL #BOXLT DOUBLE CHECK VALVE ASSEMBLY	PLUMB AS REQUIRED FOR PROPER OPERATION
J	FRIER C-144/244 FREEZELESS WALL HYDRANT	PLUMB AS REQUIRED FOR PROPER OPERATION
K	GRINDER PUMP PACKAGE	SEE SPECIFICATION PACKAGE
L	2" GALVANIZED PIPE WITH GOOSENECK, MATE TO 2" PERFORATED PVC	SEE ARCH. & STRUCTURAL DRAWINGS - 2 REQUIRED
M	ZURN ADJUSTABLE FLOOR DRAINS	
N	GRINDER PUMP PACKAGE	

ELECTRIC SCHEDULE					
TAG	MANUFACTURER AND MODEL	LAMPS	DESCRIPTION	VOLTAGE	NOTES
A	SPECTRUM LIGHTING INC. #S1611EDSV 14W 30K EI/MJ/L CPIO4 BZ	LED	BARN STYLE	120 V	
B	LAMAR LIGHTING, SATURN LED SERIES #SUNL 20 31 U SM 30	LED	LOW PROFILE NICKEL FINISH	120 V	
C	BIRCHWOOD LIGHTING, BRANDI TS TDEC 4" HRN BK PW 120 EB	T5	WET LOCATION SURFACE MOUNT	120 V	
D	A.O. SMITH, PRO-MAX, SPECIALITY COMPACT 10 GALLON ELECTRIC WATER HEATER			120 V	SUSPEND FROM ROOF RAFTERS, ABOVE BFE 14.0'
E	HUBBELL LIGHTING, DUAL LITE, HX SERIES, HX U R W -03L	LED MR16	EXIT / EMERGENCY	120 V	
F	SCHNEIDER ELECTRIC, WALL-MOUNTED PIR OCCUPANCY SENSOR, SL5WPS1500		OCCUPANCY SENSOR		PROVIDE POWER PACK
G	EXHAUST FAN, NUTONE ULTRA SILENT 110 CFM		EXHAUST FAN	120 V	PROVIDE VENT PIPING
H	100 A MAIN LUG LOAD CENTER, SQUARE D #Q0612L100SPC			100A	PROVIDE # MOUNT ON 3/4" PAINTED BLACK PLYWOOD
I	TIME SWITCH - INTERMATIC T100 SERIES 40AMP 125 VOLT DPST 24 TIME SWITCH		TIME SWITCH	40A / 125V	
J	METER SOCKET - SQUARE D, 125A RINGLESS METER SOCKET		METER SOCKET & CONDUIT		CONSULT UTILITY COMPANY - PROVIDE SERVICE CABLE
K	COMMERCIAL SPECIFICATION GRADE RECEPTACLES & COVERS		WHITE TAMPER RESISTANT RECEPTACLES		PROVIDE GFI AS REQUIRED
L	SIMPLEX PUMP CONTROL PANEL		SEE SPECIFICATION PACKAGE		
M	GRINDER PUMP PACKAGE		SEE SPECIFICATION PACKAGE		
N	SMOKE & HEAT DETECTORS				

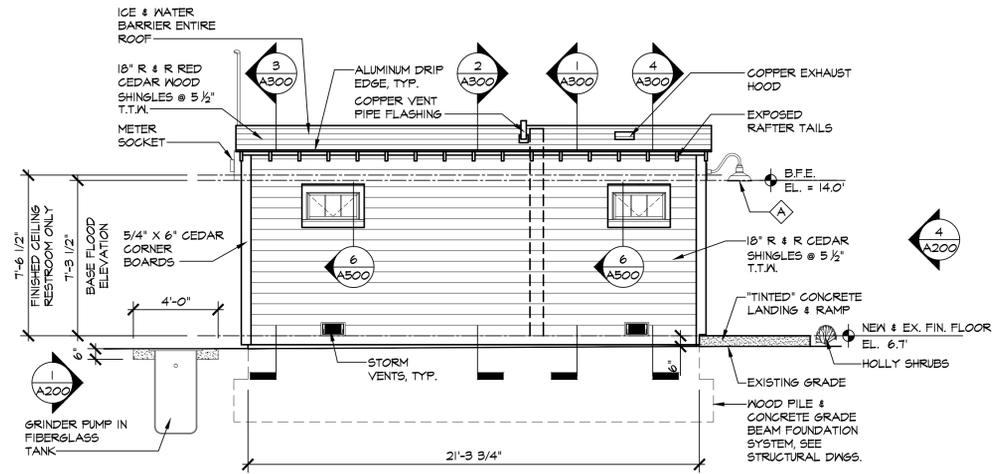
Town of Fairfield  
Dept. of Public Works

YE OLD YACHT YARD  
HANDICAP RESTROOM RE-BUILD  
985 HARBOR ROAD

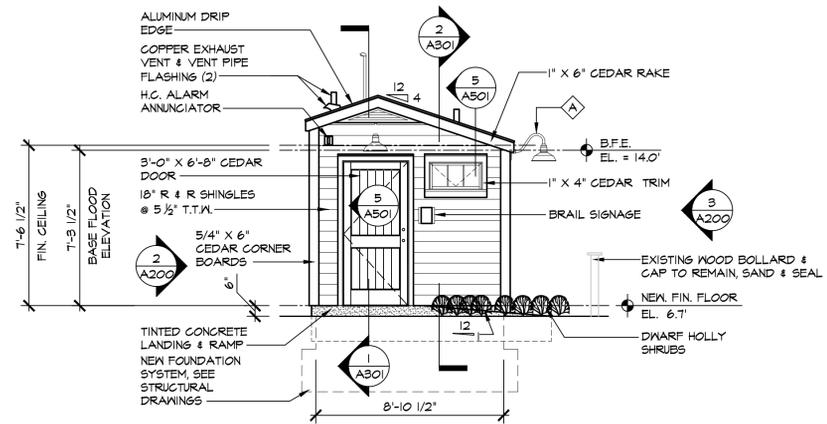
PLANS  
**A100**

DRAWN BY: JMG  
DATE: MARCH 17, 2014  
SCALE: NOTED

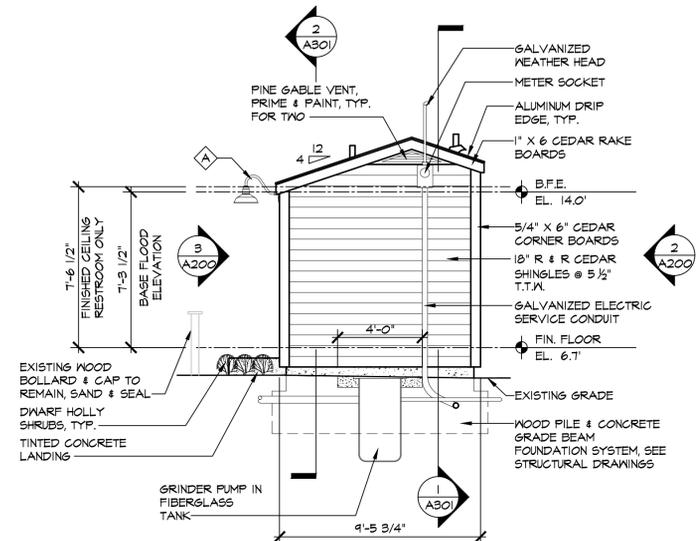
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MAP NO:



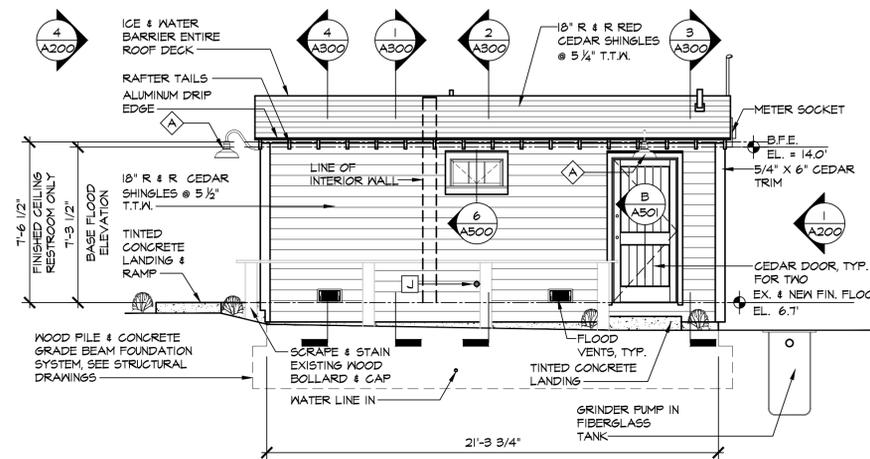
2 NORTH ELEVATION  
A200 SCALE: 1/4"=1'-0"



4 WEST ELEVATION  
A200 SCALE: 1/4"=1'-0"



1 EAST ELEVATION  
A200 SCALE: 1/4"=1'-0"



3 SOUTH ELEVATION  
A200 SCALE: 1/4"=1'-0"

Town of Fairfield  
Dept. of Public Works

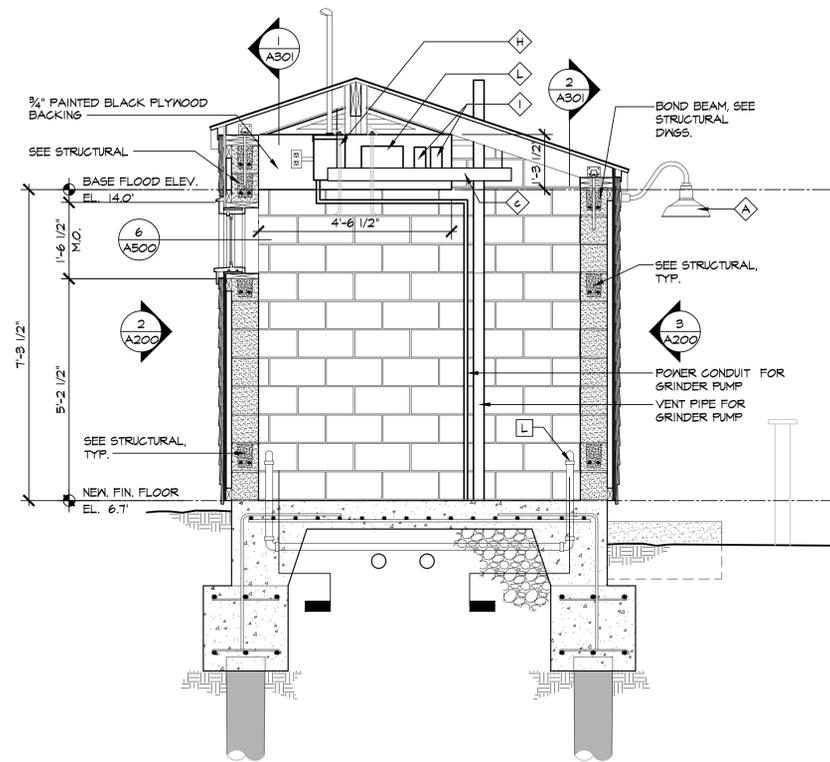
YE OLD YACHT YARD, HANDICAP RESTROOM  
RE-BUILD  
985 HARBOR ROAD, SOUTHPORT CT  
ELEVATIONS



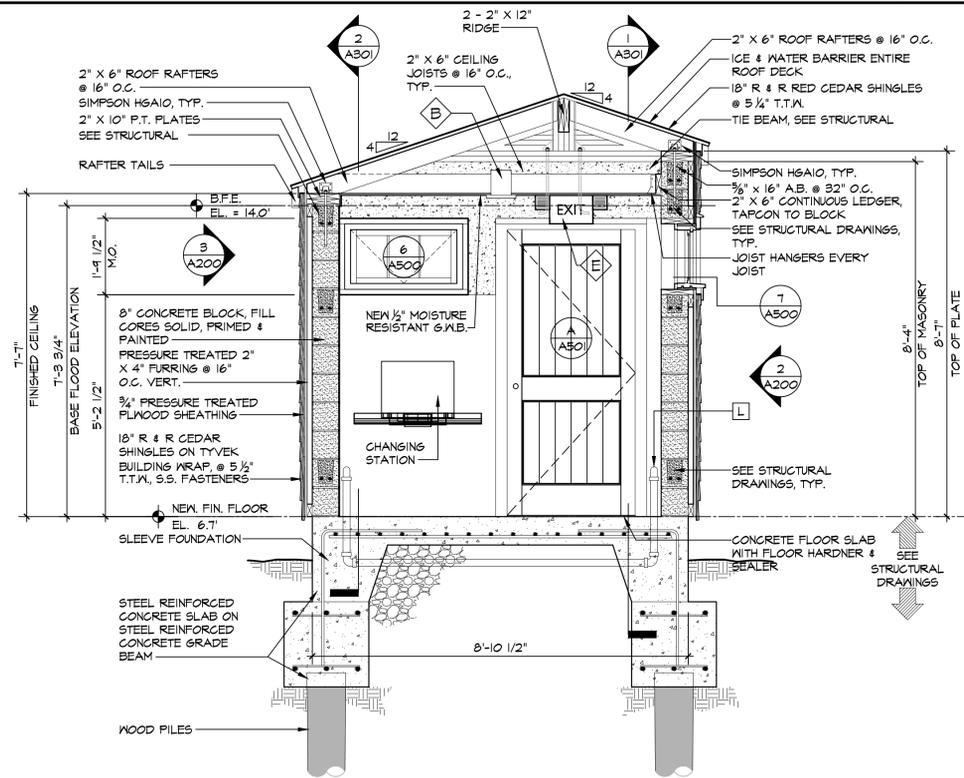
A200

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SCALE: 1/4"=1'-0"

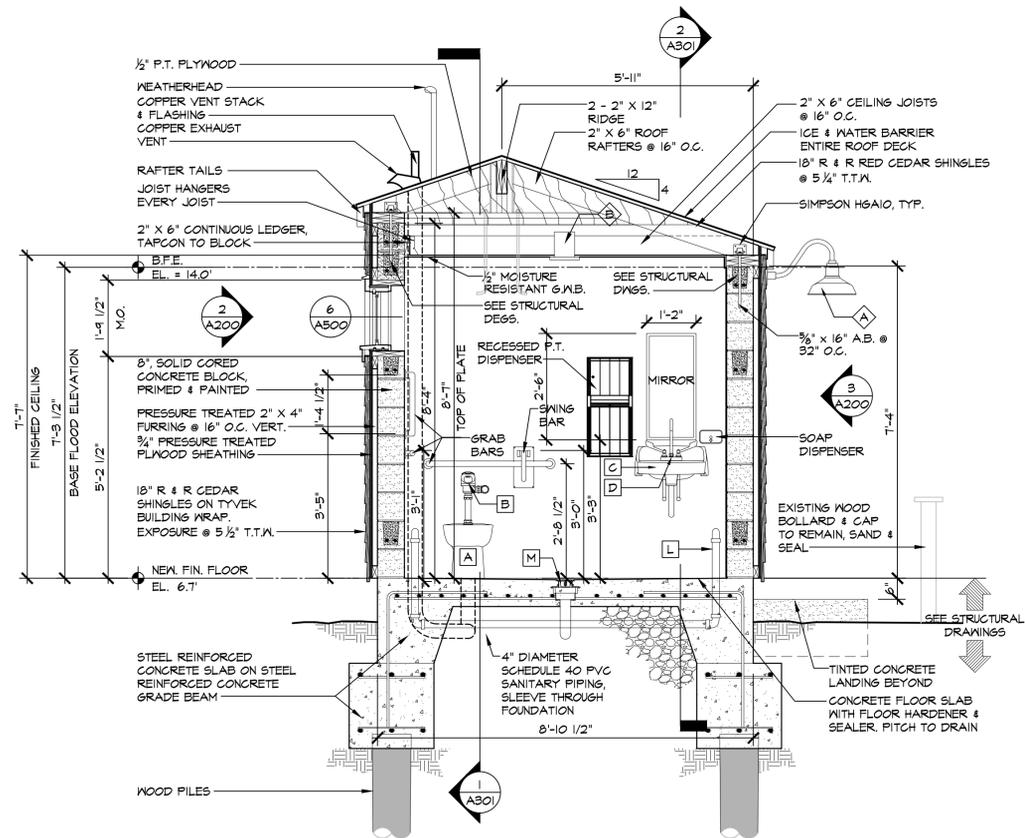
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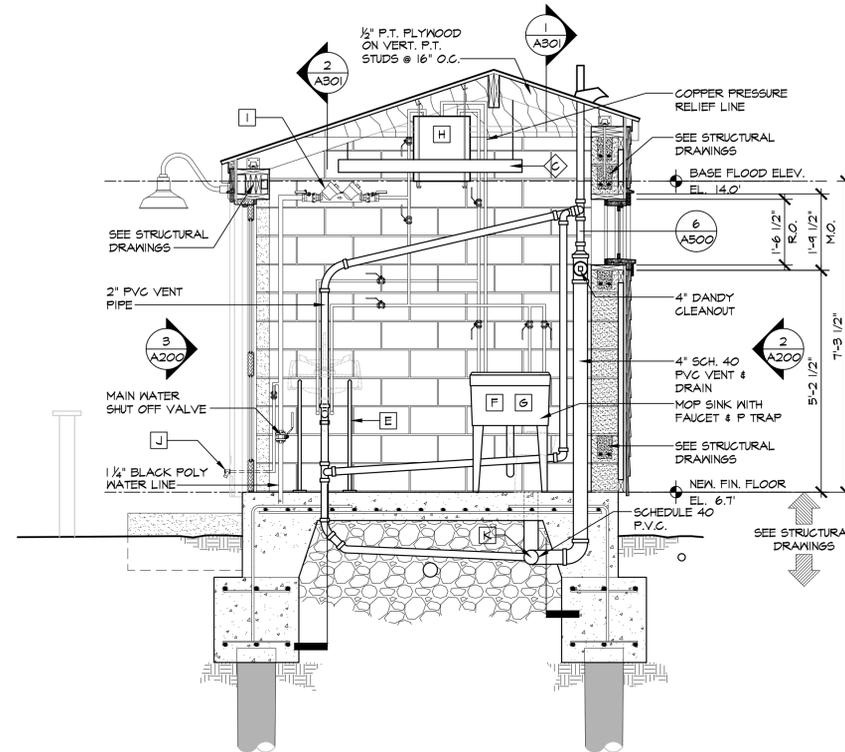
3 BUILDING SECTION  
A300 SCALE: 1/2"=1'-0"



4 BUILDING SECTION  
A300 SCALE: 1/2"=1'-0"



1 BUILDING SECTION  
A300 SCALE: 1/2"=1'-0"



2 BUILDING SECTION  
A300 SCALE: 1/2"=1'-0"

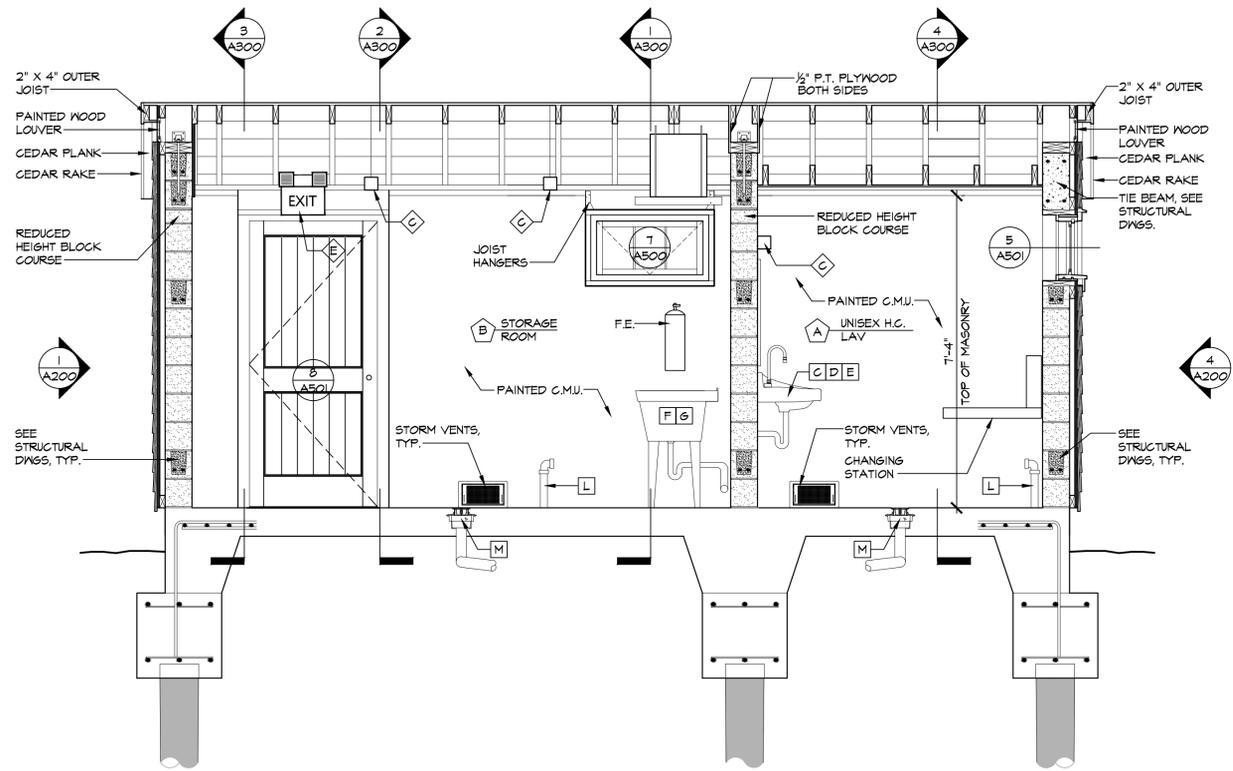
**Town of Fairfield**  
**Dept. of Public Works**

YE OLD YACHT YARD  
HANDICAP RESTROOM RE-BUILD  
985 HARBOR ROAD

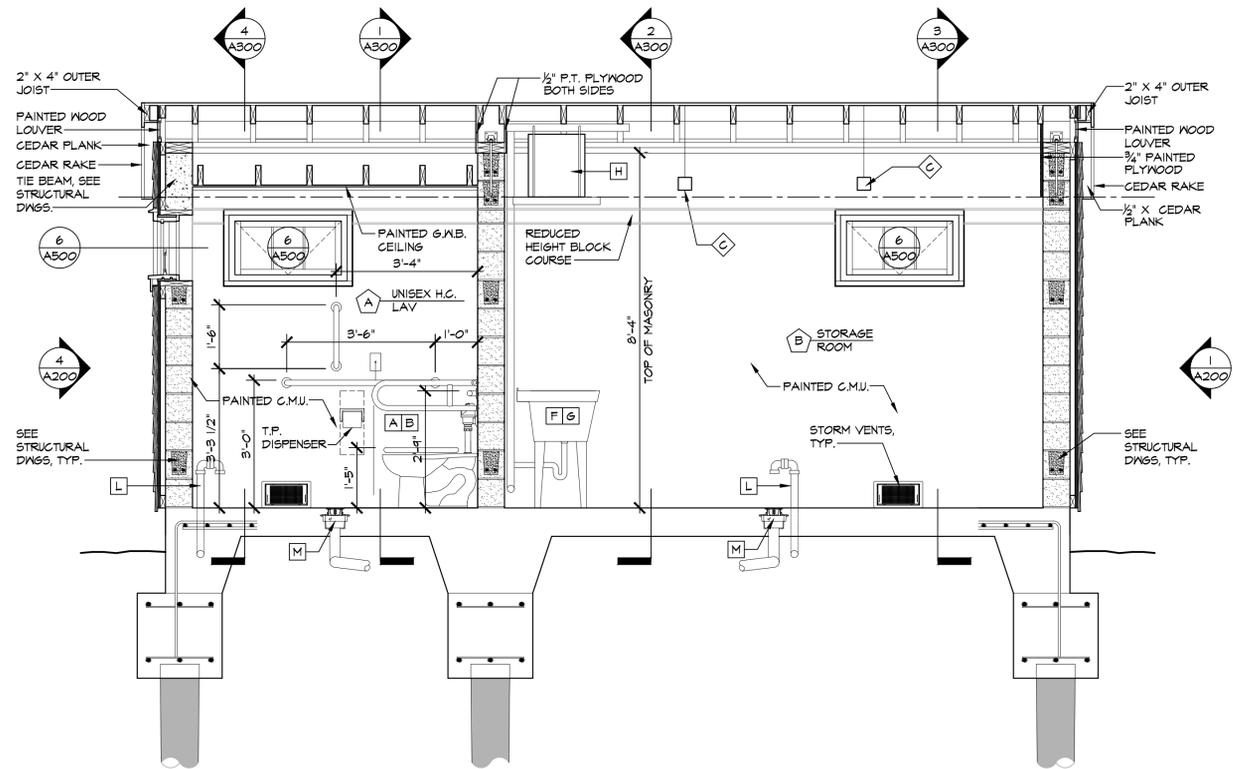
SECTIONS  
**A300**

DRAWN BY: JMG  
DATE: MARCH 17, 2014  
SCALE: NOTED

CHK'D BY:  
FILE NO: 3306  
MAP NO:



SECTION 2  
A301  
SCALE: 1/2"=1'-0"



SECTION 1  
A301  
SCALE: 1/2"=1'-0"

**Town of Fairfield**  
**Dept. of Public Works**

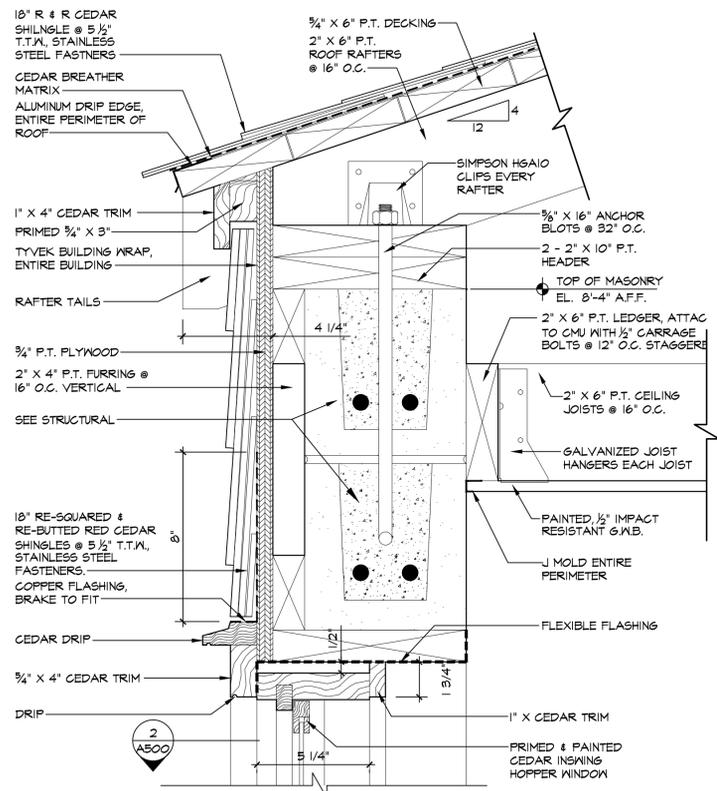
YE OLD YACHT YARD  
HANDICAP RESTROOM RE-BUILD  
985 HARBOR ROAD

BUILDING SECTIONS

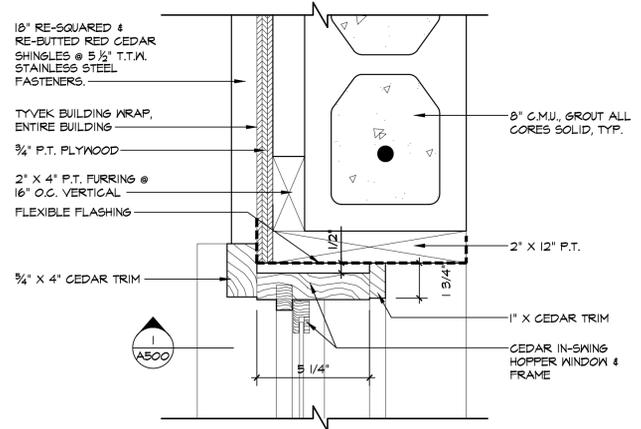
A301

DRAWN BY: JMG  
DATE: MARCH 17, 2014  
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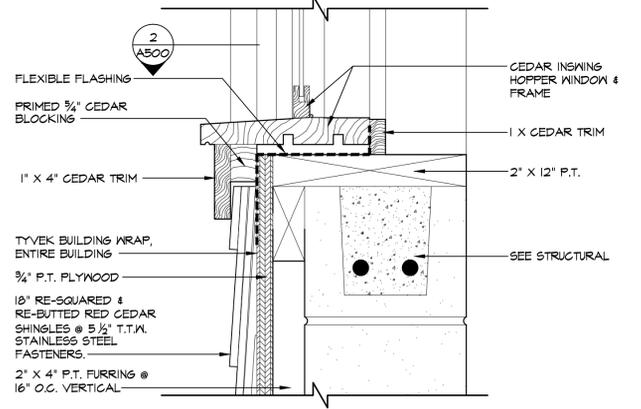
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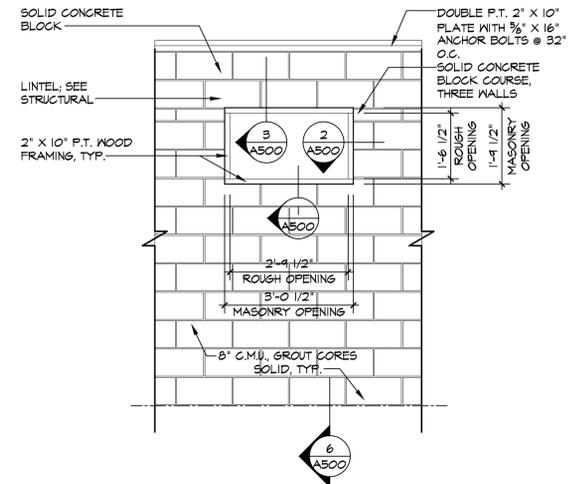
3 WINDOW HEAD  
SCALE: 3"=1'-0"



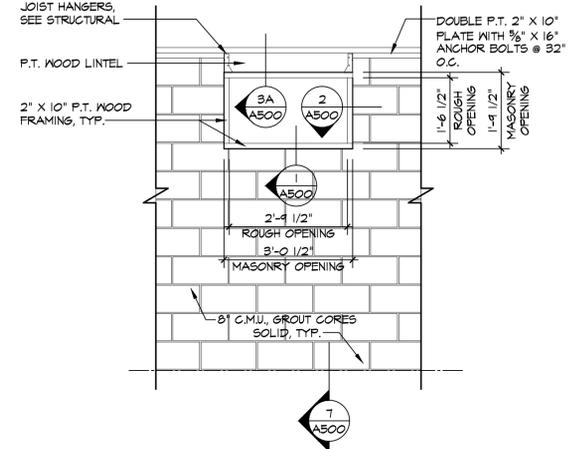
2 WINDOW JAMB  
SCALE: 3"=1'-0"



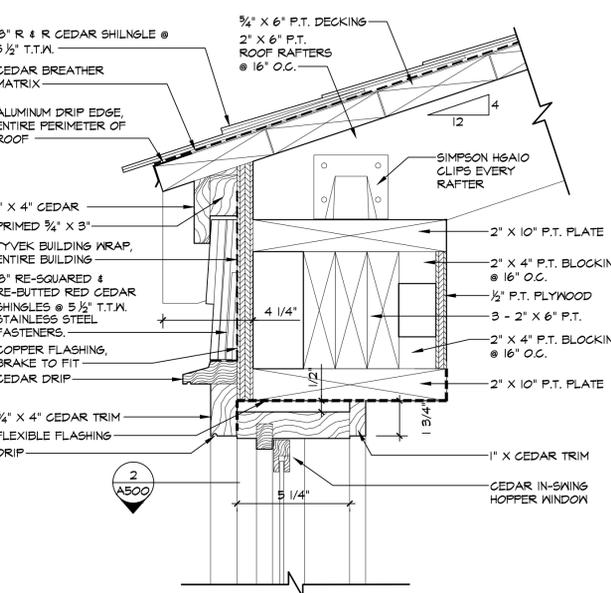
1 WINDOW SILL  
SCALE: 3"=1'-0"



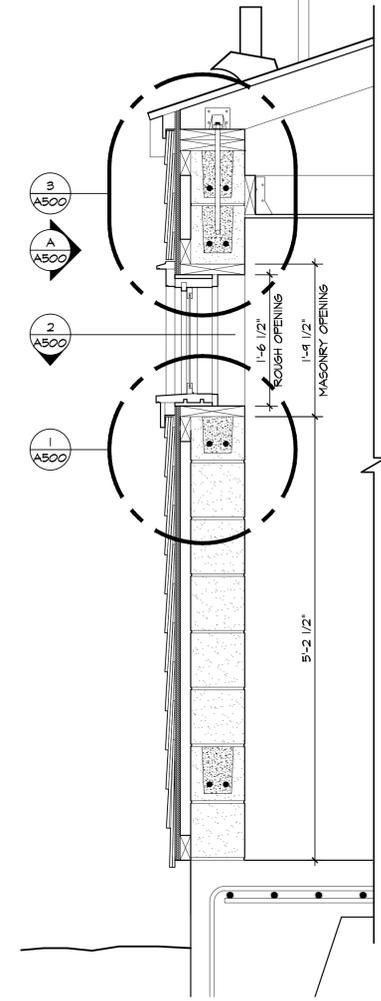
5 ROUGH OPENING ELEVATION  
SCALE: 1/2"=1'-0"



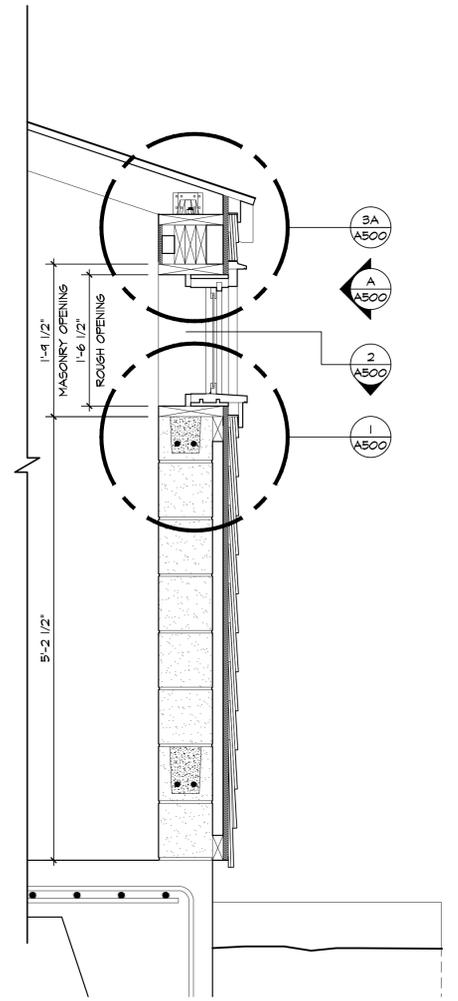
4 ROUGH OPENING ELEVATION  
SCALE: 1/2"=1'-0"



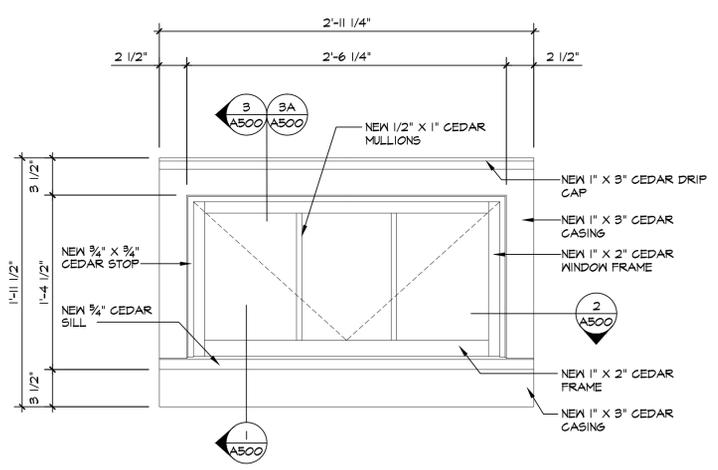
3A WINDOW HEAD  
SCALE: 3"=1'-0"



6 WINDOW SECTION  
SCALE: 1"=1'-0"



7 WINDOW SECTION  
SCALE: 1"=1'-0"



A WINDOW TYPE  
SCALE: 1 1/2"=1'-0"

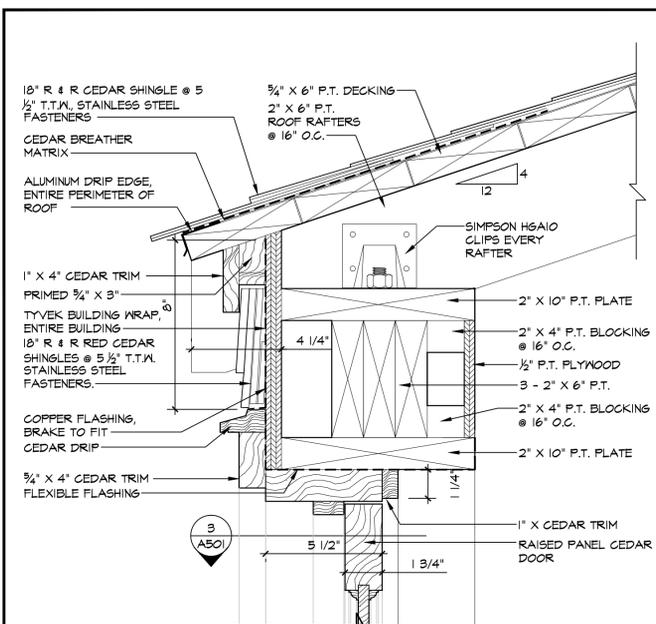
**Town of Fairfield**  
**Dept. of Public Works**

YE OLD YACHT YARD  
HANDICAP RESTROOM RE-BUILD  
985 HARBOR ROAD

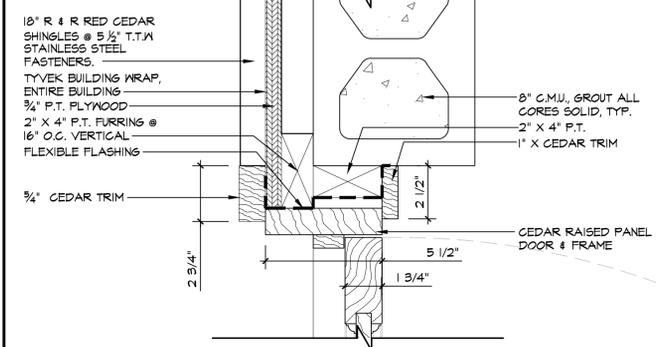
DETAILS  
**A500**

DRAWN BY: JMG  
DATE: MARCH 17, 2014  
SCALE: NOTED

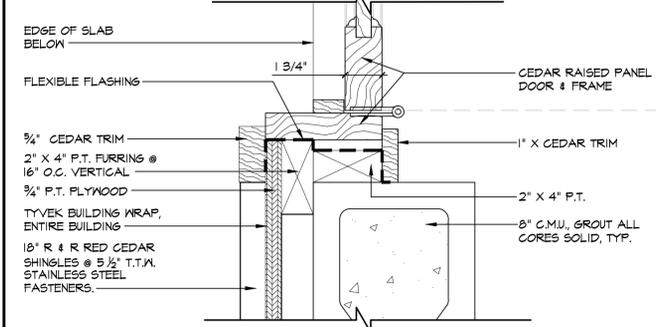
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MAP NO:



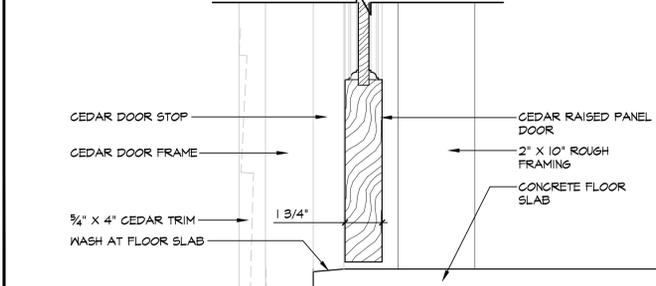
4 DOOR HEAD  
 SCALE: 3"=1'-0"



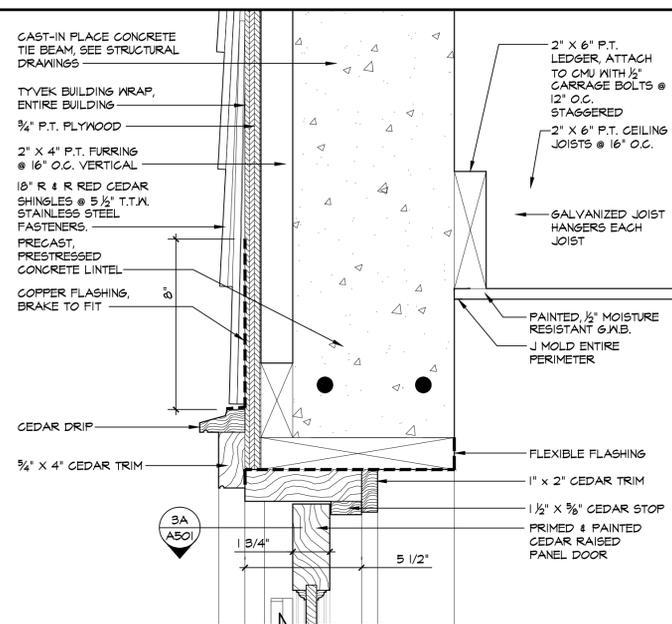
3 DOOR JAMB  
 SCALE: 3"=1'-0"



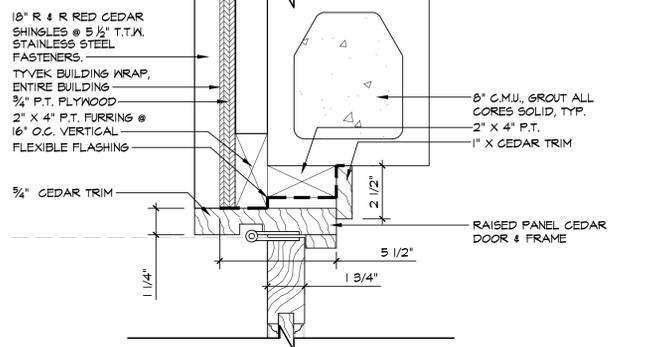
2 DOOR JAMB  
 SCALE: 3"=1'-0"



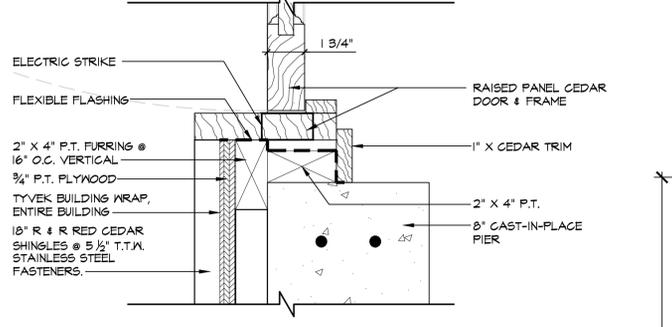
1 DOOR SILL  
 SCALE: 3"=1'-0"



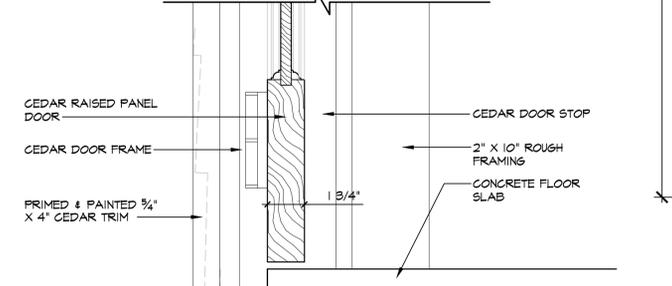
4A DOOR HEAD  
 SCALE: 3"=1'-0"



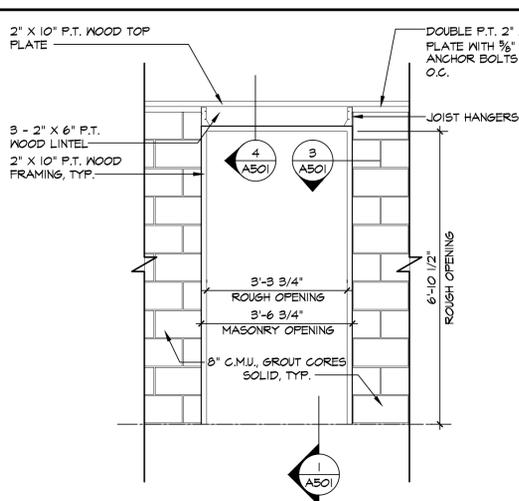
3A DOOR JAMB  
 SCALE: 3"=1'-0"



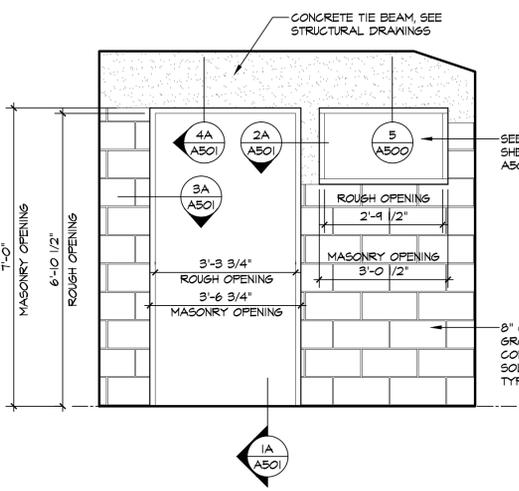
2A DOOR JAMB  
 SCALE: 3"=1'-0"



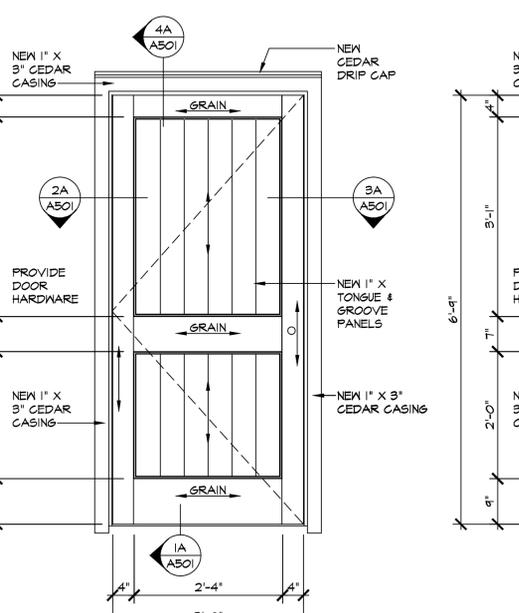
1A DOOR SILL  
 SCALE: 3"=1'-0"



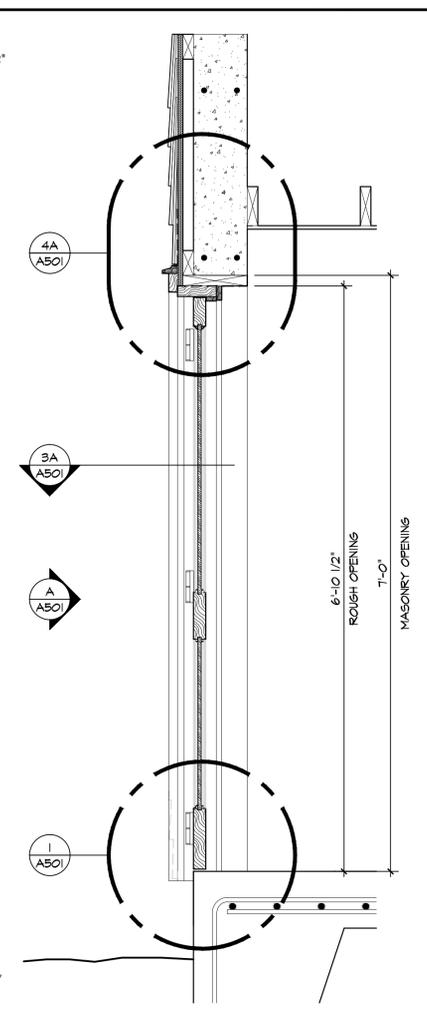
6 ROUGH OPENING ELEVATION  
 SCALE: 1/2"=1'-0"



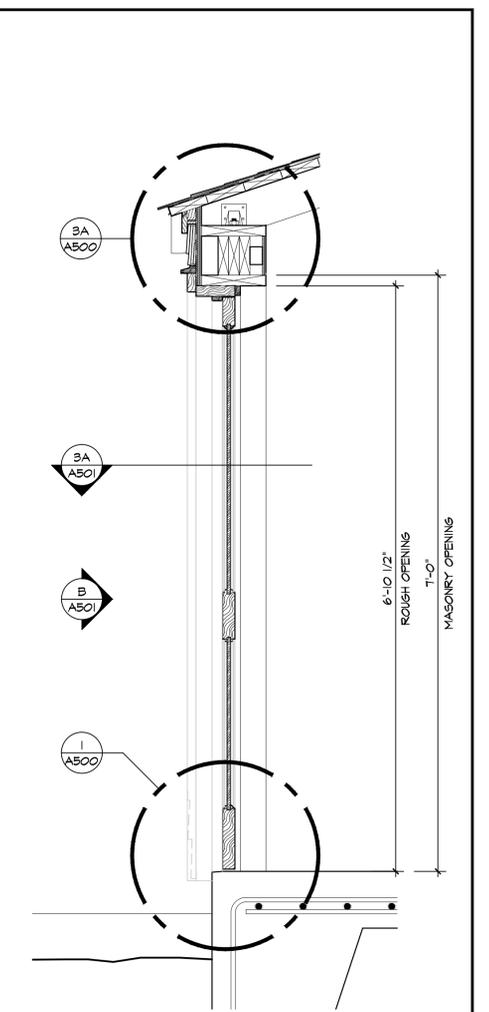
5 ROUGH OPENING ELEVATION  
 SCALE: 1/2"=1'-0"



A DOOR TYPE  
 SCALE: 3/4"=1'-0"



7 DOOR SECTION  
 SCALE: 1"=1'-0"



8 DOOR SECTION  
 SCALE: 1"=1'-0"

Town of Fairfield  
 Dept. of Public Works  
 YE OLD YACHT YARD  
 HANDICAP RESTROOM RE-BUILD  
 985 HARBOR ROAD  
 DOOR DETAILS  
**A501**  
 DRAWN BY: JMG  
 DATE: MARCH 17, 2014  
 SCALE: NOTED  
 CHK'D BY:  
 FILE NO: 3306  
 MAP NO: